GRADY MEMORIAL HOSPITAL



16TH FLOOR RESIDENT'S RESOURCE ROOM

80 JESSE HILL JR. DR., ATLANTA, GA 30303

LONG LEG HORIZONTAL

LONG LEG VERTICAL

LOCATION (LOCATE)
LOW POINT

LOUVER

METER

MASONRY

MAXIMUM

MANUFACTURING

MISCELLANEOUS

MODULE/MODULAR

MOUNTING/MEETING

NOT IN CONTRACT

NOT TO SCALE

OUTSIDE DIAMETER

OPERATOR/OPERATION

OPPOSITE HAND

OUT TO OUT

OUNCE

PANIC BAR

PIECE PENETRATION

PROJECT(ION)

PARTITION

PAVEMENT

QUARRY TILE

RETURN AIR

REFERENCE

REQUIRED

ROOF CONDUCTOR

POUNDS PER SQUARE FOOT

PORCELAIN TILE/PRESSURE TREATE

MILLIMETER

METRIC TON

MULLION

NUMBER

MANHOLE/MOUNTING HEIGHT

SCREW SOAP DISPENSER

SECTION SECRETARY

SHEATHING

SQUARE YARD

SURFACE

THERMOSTAT

TOP ELEVATION

TERMINAL TONGUE AND GROOVE

TOP OF RAIL ELEVATION

VINYL COMPOSITION TILE

TEMPERED

THRESHOLD

TACK BOARD

TOP OF STEEL

UNIT HEATER

TYPICAL

URINAL

VERTICAL VESTIBULE

VINYL VERIFY IN FIELD

VINYL TILE VENT THRU ROOF

WEST/WIDTH (WIDE)

WATER CLOSET

WIRE GLASS

WOMEN'S

WINDOW JAMB

WINDOW OPENING

WEIGHT/WOMEN'S TOILET

WATERPROOF/WEATHER PROOF/WORKING POINT

VENT

SANITARY NAPKIN DISPENSER

STORAGE STRUCTURAL/STRUCTURE

TOP OF CURB ELEVATION/TOP OF CHORD

SERVICE SINK/STRUCTURAL STEEL/STAINLESS STEEL

MATERIAL LEGEND

MATERIAL

GROUT

RIGID INSULATION

PLYWOOD

GYPSUM WALL BOARD

BATT INSULATION

DIMENSIONAL LUMBER

DIMENSIONAL LUMBER

CONTINUOUS WOOD

FRAMING

--- WATERPROOFING

WOOD BLOCKING

ABBREVIATIONS

ADJACENT: ADJUSTABI

ABOVE FINISHED GRADE

ALTERNATE/ALTERNATIVE

AIR HANDLING UNIT

ANODIZE(D)

APPROXIMATE

ASSOCIATE(S)

AUTOMATIC

BALANCE(D)

BLOCKING

BRACING

BASEMENT

BOTTOM OF

BOTTOM OF STEEL

RITISH THERMAL UNIT

COURSE/CHANNEL SHAPE

CENTER TO CENTER

CERTIFY(ICATION)(ICATE)

CUBIC FEET PER MINUTE

CENTIMETER/CENTER MARK

CONSTRUCTION JOINT/CONTROL JOINT

CEILING DIFFUSER

ORNER GUARD

CLOSET CLEAR(ANCE)

CONCEAL(ED)

COMPOSITE

CONFERENCE

CONSTRUCT(ION)

CONTROLLED ROOF DRAIN

CONTRACT(OR)

CERAMIC TILE

CYLINDER

COURSE (NOTES)

COORDINATE

CONSTR CONT CONTR CONV

BRITISH THERMAL UNIT PER HOUR

CONTROLLED ACCESS SYSTEM

BACK TO BACK

BACK OF CURB/BOTTOM CHORD

BELOW FINISHED FLOOR

AVERAGE

ADMINISTRATIVE

DIVISION DEAD LOAD

DOW NSPOUT

DUMBW AITER

EMERGENCY

EXISTING

EXTERIOR **FAHRENHEIT**

EXPANSION JOINT

FIRE EXTINGUISHER

FLUORESCENT

FACE OF CONCRETE

FACE OF MASONRY

FEET PER MINUTE

FUTURE

GRAB BAR

HAND RAIL

HARDWARE

HOLLOW METAL

INVERT ELEVATION

INCORPORATE

HM HORIZ/HOR

GAGE (GAUGE)

FIBER REINFORCED PLASTIC

FIRE RESISTANT TREATED

GENERAL CONTRACTOR

HEAD HEATING, VENTILATING & AIR

HOLLOW CORE/HANDICAPPED

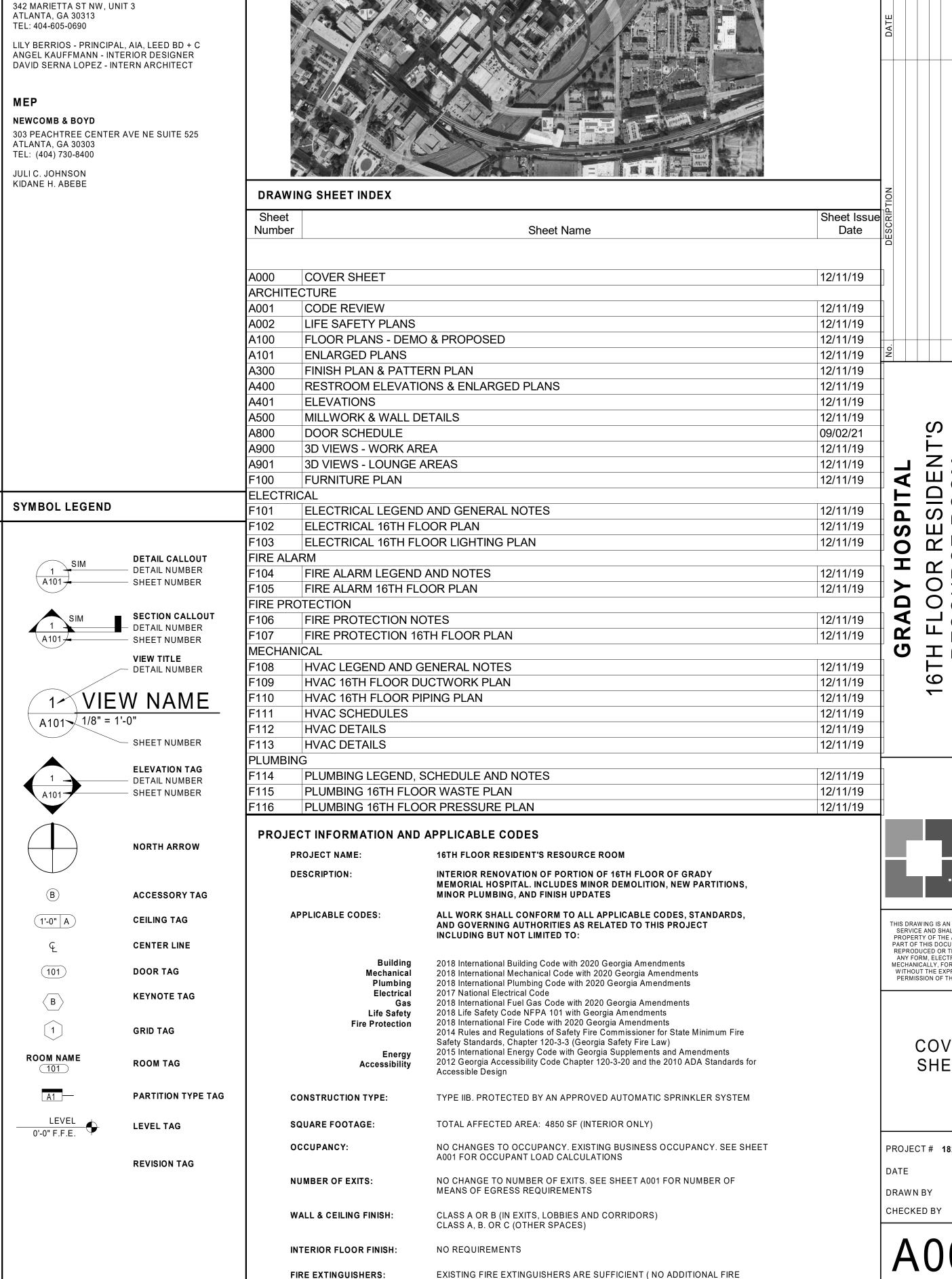
HORIZONTAL

ELECTRIC (ELECTRICAL)

ENCLOSURE/ENCLOSE

EXCAVATED/EXCAVATION

DOW EL(S)



PROJECT DIRECTORY

GRADY MEMORIAL HOSPITAL

PATRINA CRAYTON - ARCHITECTURAL

80 JESSE HILL JR. DR. ATLANTA, GA 30303

PROJECT MANAGER

SIZEMORE GROUP, LLC

ARCHITECT

NOT TO SCALE

30303

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> COVER SHEET

PROJECT # 18200GRARRC

12/11/19

SCALE **12" = 1'-0"**

NOT FOR CONSTRUCTION

EXTINGUISHERS ARE REQUIRED)

NOTE: NO NEW SPRINKLER SYSTEMS ARE REQUIRED FOR THIS PROJECT

GENERAL BUILDING INFORMATION AND PARAMETERS OCCUPANCY CLASSIFICATION:

CODE REVIEW

PRIMARY OCCUPANCY GROUP B BUSINESS OCCUPANCY (PER CHAPTER 3 - 2012 IBC)

CONSTRUCTION TYPE:
TYPE IIB (PER CHAPTER 6 - 2012 IBC)

AUTOMATIC EXTINGUISHING SYSTEM:

THE ENTIRE AREA IS FULLY-SPRINKLERED PER NFPA 101

2012 IBC REQUIREMENTS (BY CHAPTER)

CHAPTER 6 - TYPE OF CONSTRUCTION

TABLE 601 FIRE-RESISTANCE RATING REQUIREMENT FOR BUILDING ELEMENTS (TYPE IIB)

BUILDING ELEMENT RATING REQUIRED STRUCTURAL FRAME (INCLUDING COLUMNS) BEARING WALLS - EXTERIOR BEARING WALLS - INTERIOR NON-BEARING WALLS FLOOR CONSTRUCTION (INCLUDING BEAMS/JOISTS)

NFPA 101 REQUIREMENTS (BY CHAPTER)

CLASSIFICATION OF OCCUPANCY - CHAPTER 6

ROOF CONSTRUCTION (INCLUDING BEAMS/JOISTS)

6.1.11.1* DEFINITION — BUSINESS OCCUPANCY. AN OCCUPANCY USED FOR THE TRANSACTION OF BUSINESS OTHER THAN MERCANTILE.

A.6.1.11.1 BUSINESS OCCUPANCY. BUSINESS OCCUPANCIES INCLUDE THE FOLLOWING: AIRPORT TRAFFIC CONTROL TOWERS (ATCTS)

CITY HALLS

• COLLEGE AND UNIVERSITY INSTRUCTIONAL BUILDINGS, CLASSROOMS UNDER 50 PERSONS, AND INSTRUCTIONAL LABORATORIES COURTHOUSES

DENTISTS' OFFICES

• DOCTORS' OFFICES GENERAL OFFICES

ND. Not permitted

 OUTPATIENT CLINICS (AMBULATORY) TOWN HALLS

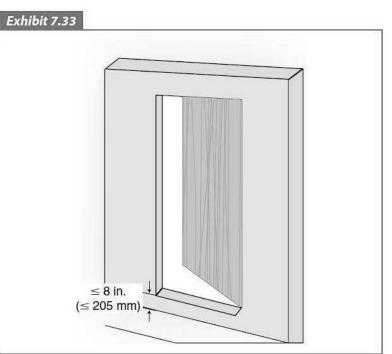
DOCTORS' AND DENTISTS' OFFICES ARE INCLUDED, UNLESS OF SUCH CHARACTER AS TO BE CLASSIFIED AS AMBULATORY HEALTH CARE OCCUPANCIES. BIRTH CENTERS SHOULD BE CLASSIFIED AS BUSINESS OCCUPANCIES IF THEY ARE OCCUPIED BY FEWER THAN FOUR PATIENTS, NOT INCLUDING INFANTS, AT ANY ONE TIME; DO NOT PROVIDE SLEEPING FACILITIES FOR FOUR OR MORE OCCUPANTS AND DO NOT PROVIDE TREATMENT PROCEDURES THAT RENDER FOUR OR MORE PATIENTS, NOT INCLUDING INFANTS, INCAPABLE OF SELF-PRESERVATION AT ANY ONE TIME PER THIS CHAPTER, OCCUPANCY FOR THIS SPACE IS DEFINED AS BUSINESS OCCUPANCY

PER TABLE 6.1.14.1(B) – SHOWN BELOW – THERE IS NO NEED TO HAVE A SEPARATION BETWEEN SPACES OF THE SAME OCCUPANCY. THIS MEANS THAT THE DOORS FROM THE LOCKER AREA CAN BE TURNED INTO CASED OPENINGS.

△ Table 6.1.14.4.1(b) Required Separation of Occupancies (hours)[†], Part 2

	Apartment	Board & Care,	Board & Care, Large	Mercantile	Mercantile, Mall	Mercantile,	Business	Industrial, General Purpose	Industrial, Special- Purpose	Industrial, High Hazard	Low & Ordinary Hazard	Storage, High Hazard
Occupancy	Buildings	Small				Bulk Retail						
Assembly ≤ 300	2	2	2	2	2	3	1	2	2	3	2	3
Assembly >300 to ≤1000	2	2	2	2	2	3	2	2	2	3	2	3
Assembly >1000	2	2	2	2	2	3	2	3	2	3	3	3
Educational	2	2	2	2	2	3	2	3	3	3	3	3
Day-Care >12 Clients	2	2	2	2	2	3	2	3	3	3	3	3
Day-Care Homes	2	2	2	2	2	3	2	3	3	3	2	3
Health Care	2 [‡]	2 [‡]	2^{\ddagger}	2^{\ddagger}	2^{\ddagger}	2^{\ddagger}	2 [±]	2 [‡]	2^{\ddagger}	2^{\ddagger}	2^{\ddagger}	2^{\ddagger}
Ambulatory Health Care	2	2	2	2	2	2‡	1	2	2	2*	2	2 [‡]
Detention & Correctional	2 [‡]	2 [‡]	2^{\ddagger}	2^{\ddagger}	2^{\ddagger}	2^{\ddagger}	2^{\ddagger}	2 [‡]	2 [‡]	NP	2^{\ddagger}	NP
One- & Two- Family Dwellings	1	1	2	2	2	3	2	2	2	3	2	3
Lodging or Rooming Houses	1	2	2	2	2	3	2	2	2	3	2	3
Hotels & Dormitories	1	2	2	2	2	3	2	2	2	3	2	3
Apartment Buildings	-	2	2	2	2	3	2	2	2	3	2	3
Board & Care, Small	2	-	1	2	2	3	2	3	3	3	3	3
Board & Care, Large	2	1		2	2	3	2	3	3	3	3	3
Mercantile	2	2	2		0	3	2	2	2	3	2	3
Mercantile, Mall	2	2	2	0	-	3	2	3	3	3	2	3
Mercantile, Bulk Retail	3	3	3	3	3	823	2	2	2	3	2	2
Business	2	2	2	2	2	2		2	2	2	2	2
Industrial, General Purpose	2	3	3	2	3	2	2	=	1	1	1	1
Industrial, Special-Purpose	2	3	3	2	3	2	2	1	778	1	1	1
Industrial, High Hazard	3	3	3	3	3	3	2	1	1	-	1	1
Storage, Low & Ordinary Hazard	2	3	3	2	2	2	2	1	1	1		1
Storage, High Hazard	3	3	3	3	3	2	2	1	1	1	1	8

7.2.1.3.7 WHERE DOORS SERVE SPACES THAT ARE NOT NORMALLY OCCUPIED, THE FLOOR LEVEL SHALL BE PERMITTED TO BE LOWER THAN THAT OF THE DOOR OPENING BUT SHALL BE NOT MORE THAN 8 IN. (205 MM) LOWER.



Elevation difference between floor and door leaf opening to a

normally unoccupied room.

THE PROVISION OF 7.2.1.3.7 PERMITS A MAXIMUM 8 IN. (205 MM) ELEVATION DIFFERENCE BETWEEN THE DOOR OPENING AND THE FLOOR, WHERE THE DOOR SERVES A SPACE THAT IS NORMALLY UNOCCUPIED. THE EXEMPTION CAN BE USED FOR NEW CONSTRUCTION OR EXISTING SITUATIONS. THE ELEVATION DIFFERENCE BETWEEN THE DOOR OPENING AND THE FLOOR CAN OCCUR AT ONE OR BOTH SIDES OF THE DOOR OPENING. WHERE THE ELEVATION DIFFERENCE BETWEEN THE DOOR OPENING AND THE FLOOR OCCURS AT BOTH SIDES OF THE DOOR OPENING, THE ARRANGEMENT IS SIMILAR TO THAT ENCOUNTERED ON A SHIP AT A DOOR OPENING IN A BULKHEAD. THIS ARRANGEMENT IS DEPICTED IN EXHIBIT 7.33 (ABOVE).

REFER TO LIFE SAFETY PLAN FOR OCCUPANT LOAD CALCULATIONS

SECTION 12.1.7 OCCUPANT LOAD

TABLE 7.3.1.2 OCCUPANT LOAD FACTOR:

CITY OF ATLANTA ADOPTED THE 2018 NFPA 101 LIFE SAFETY CODE EFFECTIVE JANUARY 1, 2020. THIS CODE HAS DIFFERENT OCCUPANT LOAD FACTORS FOR BUSINESS OCCUPANCY AS SHOWN

Business Use (other than below)	150	14
Concentrated Business Use ^f	50	4.6
Airport traffic control tower observation levels	40	3.7
Collaboration rooms/spaces ≤ 450 ft ² (41.8 m ²) in area ^f	30	2.8
Collaboration rooms/spaces > 450 ft ² (41.8 m ²) in area ^f	15	1.4

THE PRELIMINARY ANALYSIS OF OCCUPANT LOAD REVEALED THAT WE WILL BE INCREASING THE OCCUPANT LOAD FROM 65 PEOPLE TO 72 PEOPLE.

SECTION 12.2.5.1 ARRANGEMENT OF MEANS OF EGRESS - COMMON PATH OF TRAVEL

A COMMON PATH OF TRAVEL SHALL BE PERMITTED FOR THE FIRST 20 FEET FROM ANY POINT WHEN SERVING ANY NUMBER OF OCCUPANTS AND FOR THE FIRST 75 FEET FROM ANY POINT WHEN SERVING NOT MORE THAN 50 OCCUPANTS.

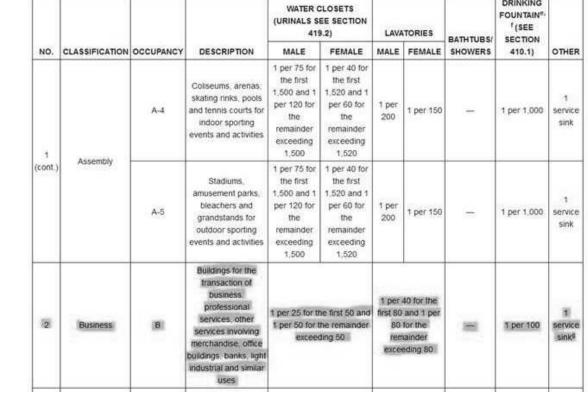
SECTION 12.3.3 INTERIOR FINISHES:

INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE PERMITTED AS FOLLOWS: ENCLOSED STAIRWAYS - CLASS A

GENERAL ASSEMBLY AREAS WITH OCCUPANT LOADS OF 300 OR FEWER - CLASS A, B, OR C

PLUMBING FIXTURE COUNT - INTERNATIONAL PLUMBING CODE

DUE TO BUSINESS OCCUPANCY, THE PLUMBING FIXTURE COUNT WAS CALCULTED USING THE TABLE BELOW:



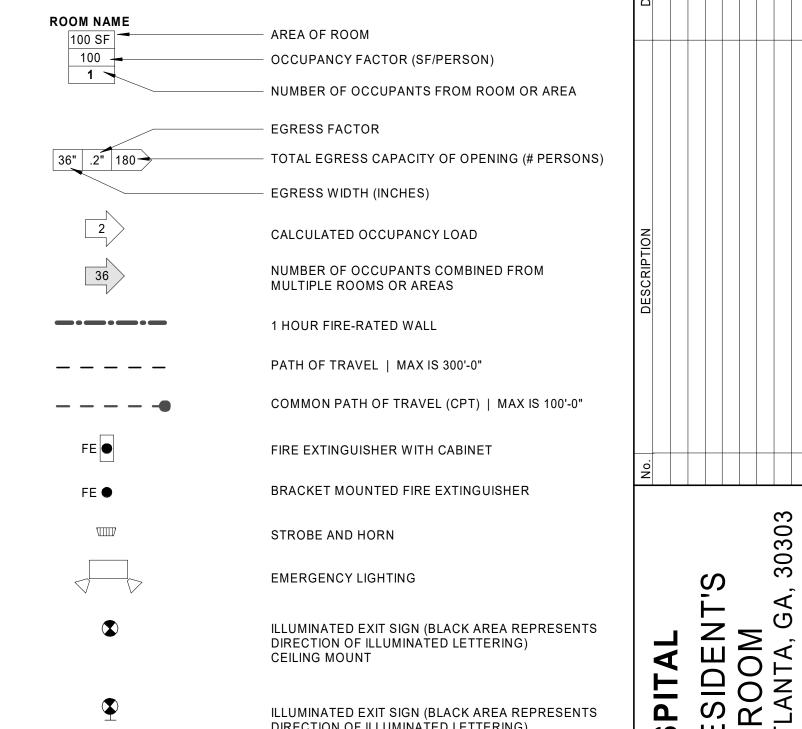
SINCE THE PRELIMINARY OCCUPANCY COUNT IS 72 PEOPLE THIS TRANSLATES TO 4 TOTAL WATER CLOSETS (2 MALE, 2 FEMALE), 2 SINKS (1 MALE, 1 FEMALE), 1 DRINKING FOUNTAIN AND 1 SERVICE SINK.

LOCATION OF FIRE EXTINGUISHER CABINETS AND FIRE EXTINGUISHERS IS BASED ON 75 FT. TRAVEL DISTANCE.

- .. CONTRACTOR TO PROVIDE AND INSTALL (IF NECESSARY) TWO ADDITIONAL FIRE EXTINGUISHER CABINETS PER FLOOR IF DIRECTED BY THE LOCAL AUTHORITIES HAVING JURISDICTION.
- 3. REFER TO FLOOR PLANS FOR LOCATIONS OF PARTITION TYPES.

LIFE SAFETY PLAN LEGEND

LIFE SAFETY NOTES

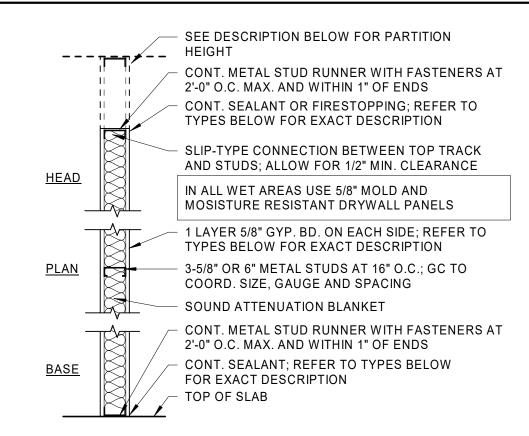


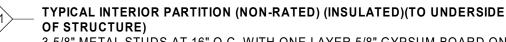
ILLUMINATED EXIT SIGN (BLACK AREA REPRESENTS

DIRECTION OF ILLUMINATED LETTERING)

WALL MOUNT

PARTITION TYPES





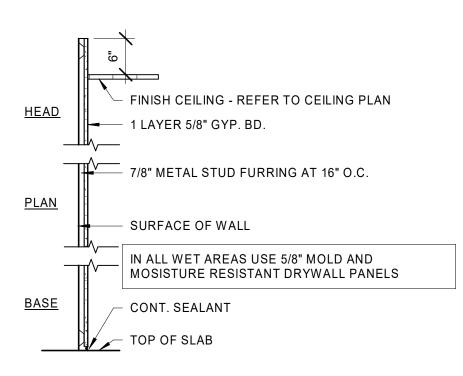
3-5/8" METAL STUDS AT 16" O.C. WITH ONE LAYER 5/8" GYPSUM BOARD ON BOTH SIDES TO UNDERSIDE OF DECK ABOVE. PROVIDE CONT. SEALANT AT TOP, BOTTOM AND ENDS OF PARTITIONS AND AT ALL PENETRATIONS. PROVIDE 3-1/2" BATT. INSULULATION IN CAVITY. OVERALL DIMENSION 4-7/8"

TYPICAL INTERIOR PARTITION (NON-RATED) (INSULATED) (TO 0'-6" ABOVE

3-5/8" METAL STUDS AT 16" O.C. WITH ONE LAYER 5/8" GYPSUM BOARD ON BOTH SIDES 0'-6" ABOVE THE CEILING HEIGHT. PROVIDE CONT. SEALANT AT TOP, BOTTOM AND ENDS OF PARTITIONS AND AT ALL PENETRATIONS. PROVIDE 3-1/2" BATT. INSULULATION IN CAVITY. OVERALL DIMENSION 4-7/8"

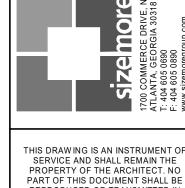
TYPICAL INTERIOR PARTITION (NON-RATED) (INSULATED) (TO 0'-6" ABOVE CEILING)

6" METAL STUDS AT 16" O.C. WITH ONE LAYER 5/8" GYPSUM BOARD ON BOTH SIDES TO 0'-6" ABOVE THE CEILING HEIGHT. PROVIDE CONT. SEALANT AT TOP, BOTTOM AND ENDS OF PARTITIONS AND AT ALL PENETRATIONS. PROVIDE 3-1/2" BATT. INSULULATION IN CAVITY. OVERALL DIMENSION 7-1/4"



PARTITION (NON-RATED)

7/8" METAL METAL FURRING CHANNELS AT 16" O.C. WITH ONE LAYER OF 5/8" GYPSUM BOARD TO 6" ABOVE CEILING. PROVIDE CONT. SEALANT AT BOTTOM AND ENDS OF PARTITIONS AND AT ALL PENETRATIONS. OVERALL DIMENSION 1-1/2"



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CODE **REVIEW**

PROJECT# 18200GRARRC DATE 12/11/19 DRAWN BY

CHECKED BY

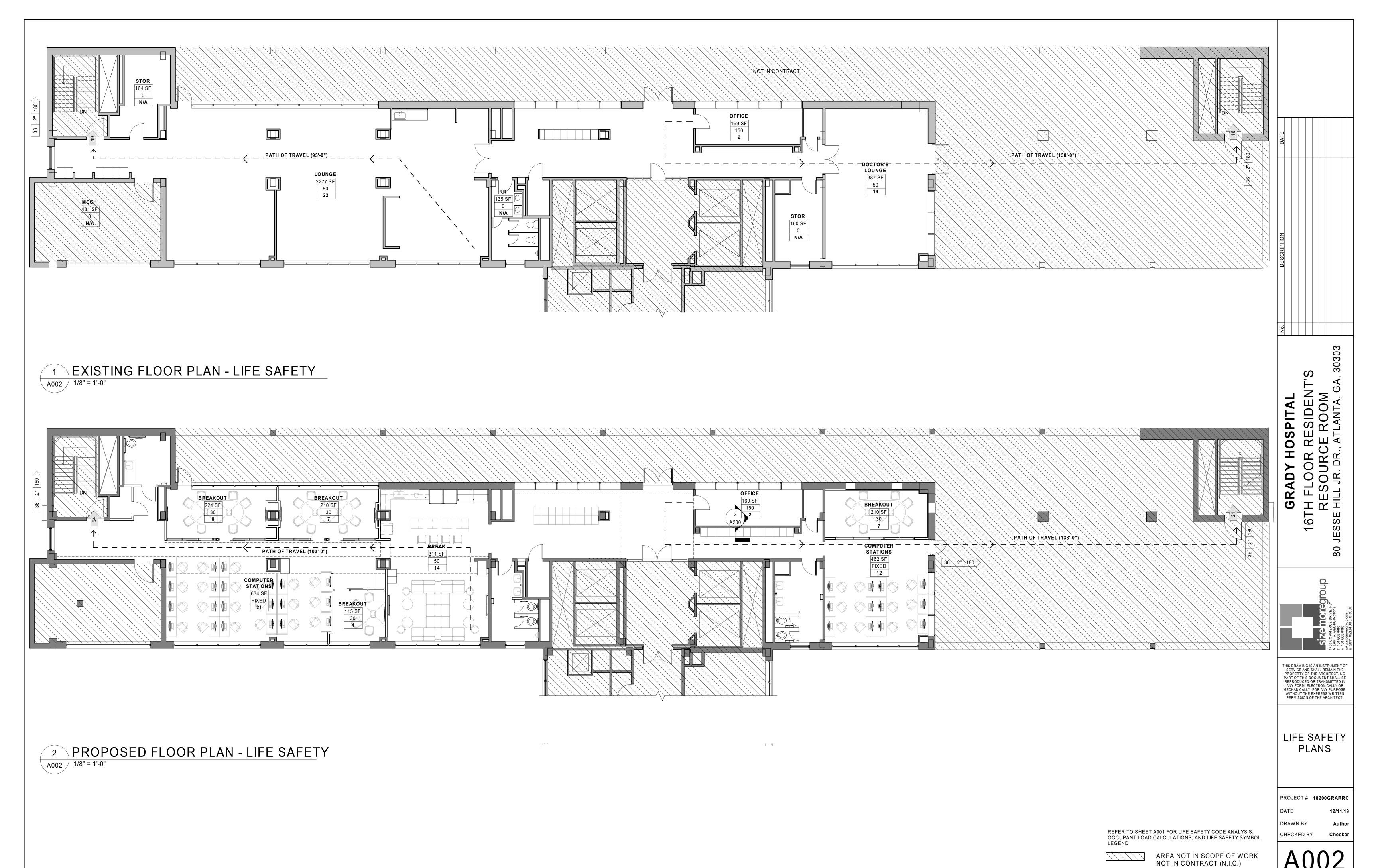
SCALE As indicated

NOT FOR CONSTRUCTION

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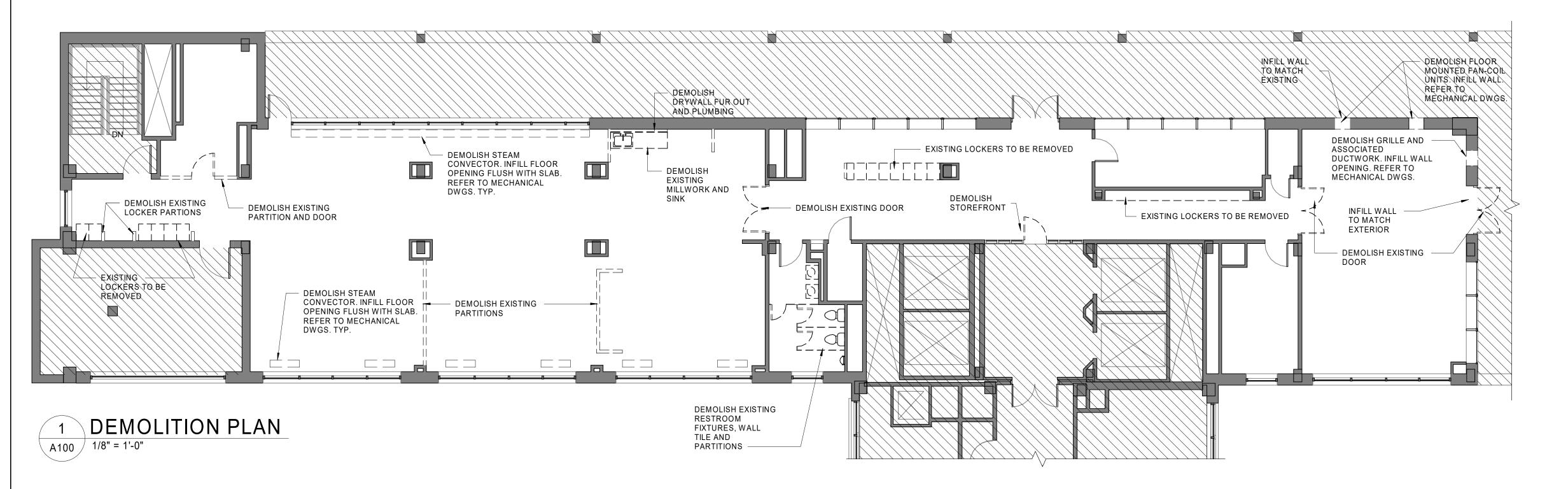
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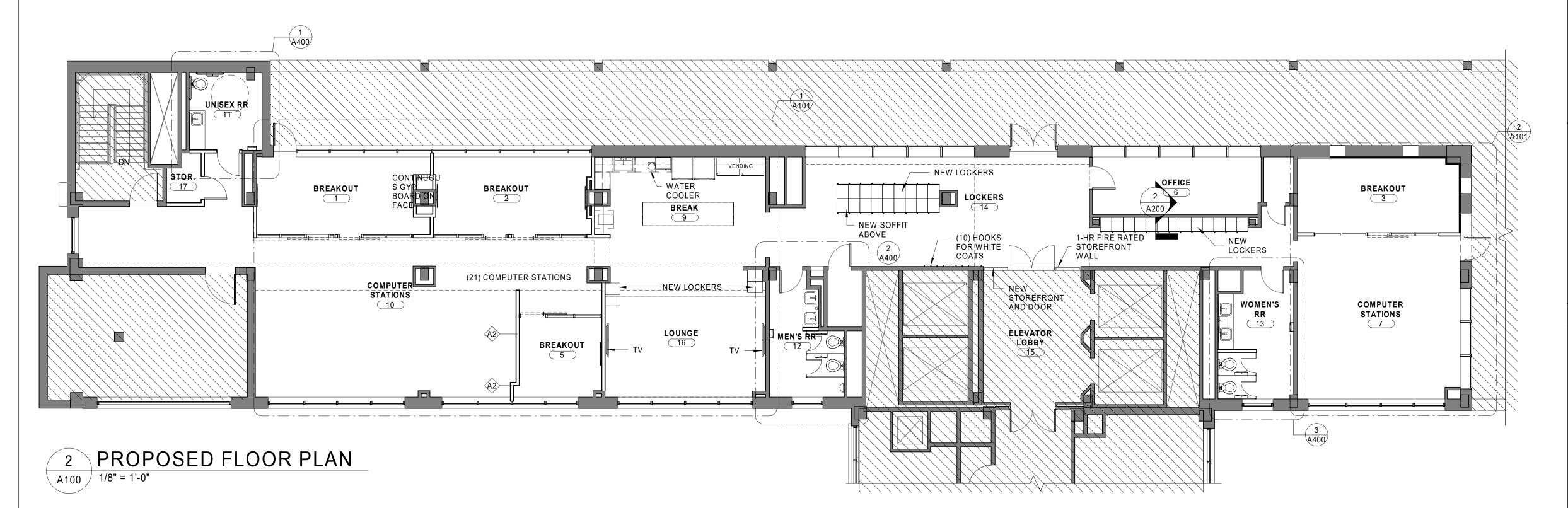
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NOT FOR CONSTRUCTION 1/6 - 1 -

SCALE 1/8" = 1'-0"





DEMOLITION GENERAL NOTES

- 1. IF GENERAL CONTRACTOR DISCOVERS EXISTING CONDITIONS THAT ARE NOT INDICATED ON THE DRAWINGS, HE SHALL CONTACT THE ARCHITECT BEFORE PROCEEDING WITH THAT PORTION OF
- 2. DEBRIS RESULTING FROM DEMOLITION AND CONSTRUCTION SHALL BE REMOVED ENTIRELY FROM THE BUILDING SITE ON A DAILY BASIS TO A WASTE AREA PROVIDED BY THE CONTRACTOR.
- 3. SURFACES DISTURBED BY DEMOLITION, CUTTING, PATCHING, OR IN ANY OTHER WAY, SHALL BE FINISHED TO MATCH THE EXISTING ADJACENT SURFACES IN TEXTURE AND COLOR. PATCHED SHALL BE IMPERCEPTIBLE.
- 4. CARE SHALL BE TAKEN IN REMOVAL OF ITEMS TO REMAIN THE OWNER'S PROPERTY TO PREVENT DAMAGE. STORE ITEMS WHERE DIRECTED BY THE OWNER. ALL OTHER MATERIALS REMOVED BY THE DEMOLITION WORK AND NOT INDICATED TO BE RELOCATED OR REUSED IN THE PROJECT SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND REMOVED FROM THE SITE AS WORK
- 5. MAINTAIN BUILDING SECURITY AT ALL TIMES.
- 6. PROTECT EXISTING BUILDING AREAS FROM DAMAGE FROM DEBRIS AND DUST DURING CONSTRUCTION.
- 7. GC TO COORDINATE PRE-CONSTRUCTION MEETING TO DISCUSS PHASING/SEQUENCING OF ALL DEMOLITION WORK WITH OWNER, INCLUDING ANY NEEDS TO SHUT OFF WATER OR POWER FOR ANY PLUMBING & APPLIANCE ITEMS.
- 8. G.C. SHALL VERIFY THE LOCATION, IDENTITY AND SIZE OF ALL COMPONENTS AND MATERIAL TO BE REMOVED PRIOR TO BEGINNING DEMOLITION WORK. REFERENCE ENTIRE CONTRACT DOCUMENTS FOR COMPLETE PROJECT REQUIREMENTS.
- 9. A SCHEDULE OF REQUIRED SHUTDOWNS AND OTHER DISTURBANCES TO THE BUILDING SHALL BE COORDINATED WITH THE OWNER OR BUILDING MANAGEMENT PRIOR TO BEGINNING WORK.
- 10. EQUIPMENT AND MATERIAL REMOVED FROM SERVICE BECOMES PROPERTY OF THE CONTRACTOR UNTIL DISPOSED OF OR PLACE BACK IN SERVICE WORKING CONDITION. TRANSPORT AND DISPOSE OF DEMOLISHED EQUIPMENT AND MATERIAL TO AN APPROPRIATE DISPOSAL LOCATION OFF PROJECT PROPERTY.
- 11. OWNER SHALL BE GIVEN THE OPPORTUNITY OF FIRST RIGHT OR REFUSAL FOR DEMOLISHED MATERIALS AND EQUIPMENT.
- 12. CONTRACTOR TO PATCH AND REPAIR AREAS IN WHICH DEMOLITION CAUSED DAMAGE.

FLOOR PLAN NOTES

- 1. DRAWINGS, IN GENERAL, ARE DIAGRAMMATIC IN NATURE AND ARE INTENDED TO CONVEY, IN CONJUNCTION WITH THE COMPLETE CONTRACT DOCUMENTS, A COMPLETE AND FUNCTIONAL SYSTEM. COORDINATION OF WORK WITH OTHER TRADES IS REQUIRED BEFORE PROCEEDING WITH WORK
- 2. DO NOT SCALE DRAWINGS USE DIMENSIONS ONLY. FOR DIMENSIONS NOT SHOWN OR IN QUESTION, CONTRACTOR SHALL REQUEST CLARIFICATION FROM ARCHITECT BEFORE PROCEEDING.
- 3. CONTRACTOR SHALL MAINTAIN ON SITE, AVAILABLE FOR REVIEW, A MASTER SET OF MARKED UP DRAWINGS REFLECTING "AS BUILT" CONDITIONS. UPON CONCLUSION OF PROJECT. "AS BUILT" DRAWINGS SHALL BE TURNED OVER TO OWNER.
- 4. DETAILS AND SECTIONS ARE INTENDED TO BE TYPICAL AND INDICATED BASIC DESIGN AND SHALL APPLY TO SIMILAR SITUATIONS. ADAPTATIONS TO SPECIFIC PROJECT CONDITIONS MAY BE REQUIRED. BASIC DESIGN INTENT IS TO BE RETAINED.
- 5. AFTER COMPLETION OF WORK ALL ADDITIONAL MATERIALS REMAINING DUE TO CONSTRUCTION SHALL BECOME PROPERTY OF THE GENERAL CONTRACTOR WITH ALL APPLICABLE LAWS, ORDINANCES, RULES AND REGULATIONS UNLESS NOTIFIED OTHERWISE. CONTRACTOR SHALL ALSO REMOVE ALL WASTE DEBRIS, RUBBISH, TOOLS, EQUIPMENT AND SURPLUS MATERIAL UPON COMPLETION OF WORK THROUGHOUT CONSTRUCTION.. SITE SHALL BE ORGANIZED AND CLEANED BY CONTRACTOR ON A DAILY BASIS
- 6. GC SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS ON THE SITE, GC SHALL REPORT ALL DISCREPANCIES BETWEEN THE JOB AND DRAWINGS TO THE OWNER IMMEDIATELY.
- 7. ALL ANGLES ARE 90 DEGREES UNLESS NOTED OTHERWISE.
- 8. CONTRACTOR TO SUBMIT PRODUCT DATA FOR ALL NEW ITEMS, INCLUDING BUT NOT LIMITED TO FINISHES, FIXTURES, ETC. FOR OWNER APPROVAL PRIOR TO ORDERING.

FLOOR PLAN LEGEND

EXISTING TO REMAIN

ITEMS TO BE DEMOLISHED (U.N.O.)

NEW WORK CONSTRUCTION

AREA NOT IN SCOPE OF WORK NOT IN CONTRACT (N.I.C.)

KEY PLAN

GRADY HOSPITAL
16TH FLOOR RESIDENT
RESOURCE ROOM
80 JESSE HILL JR. DR., ATLANTA, G

303

STZE MOTEGION

1700 COMMERCE DRIVE, NW
ATLANTA, GEORGIA 30318
T: 404 605 0890
E: 404 605 0890
WW. sizemoregroup. com

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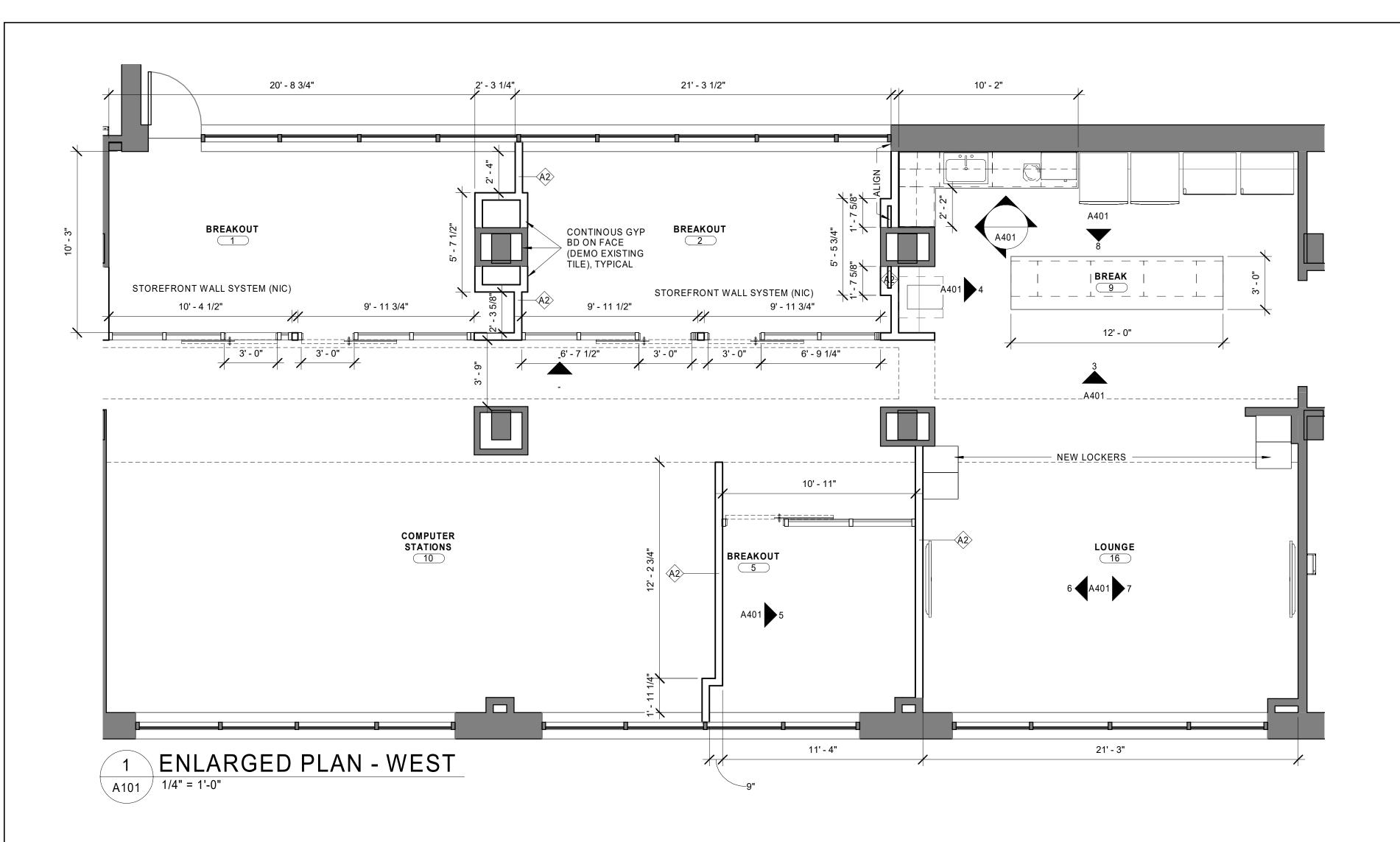
FLOOR PLANS -DEMO & PROPOSED

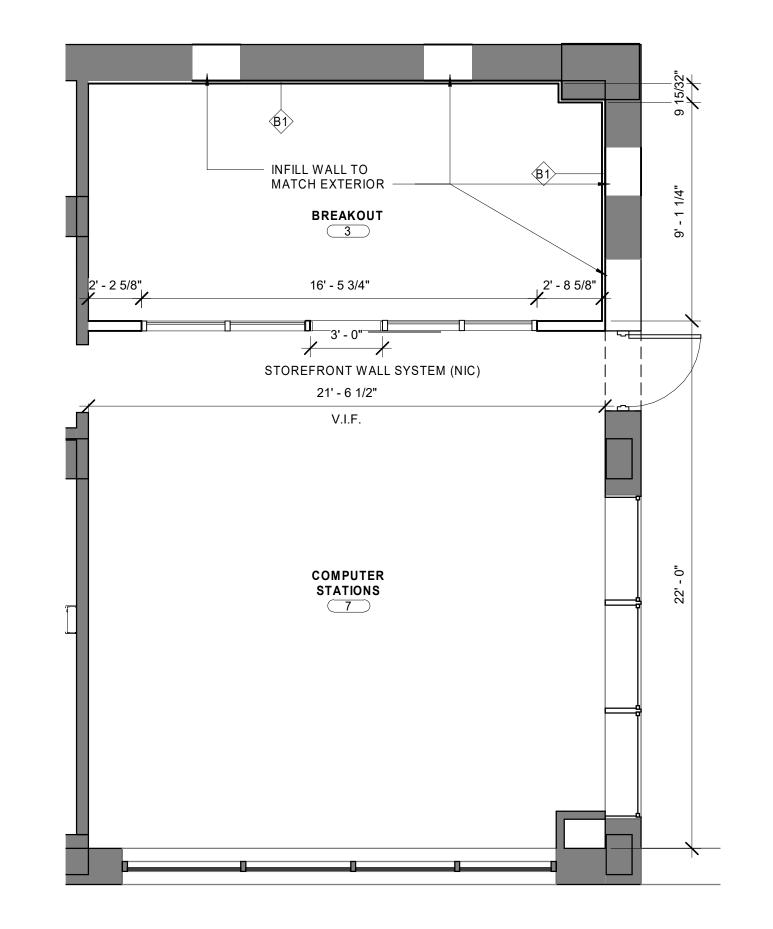
PROJECT# 18200GRARRC

DATE 12/11/19
DRAWN BY Author
CHECKED BY Checker

SCALE 1/8" = 1'-0"

NOT FOR CONSTRUCTION





2 ENLARGED PLAN - EAST
A101 1/4" = 1'-0"

30303 No. DESCRIPTION DATI

GRADY HOSPITAL

16TH FLOOR RESIDENT
REE BRIVE, NW
SON JESSE HILL JR. DR., ATLANTA, G.

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ENLARGED PLANS

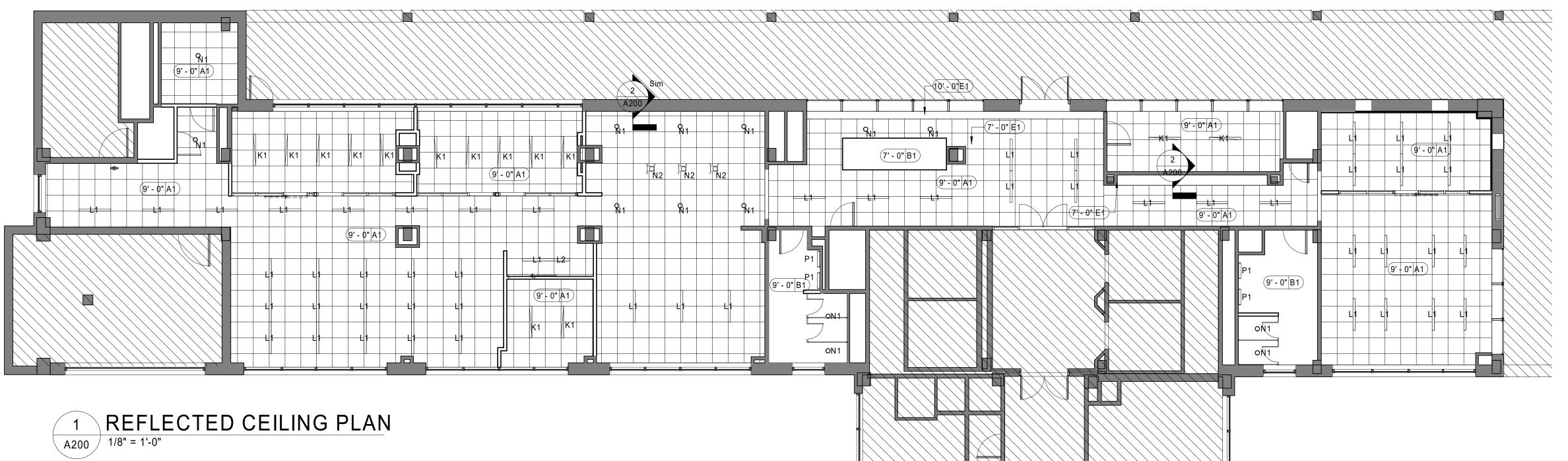
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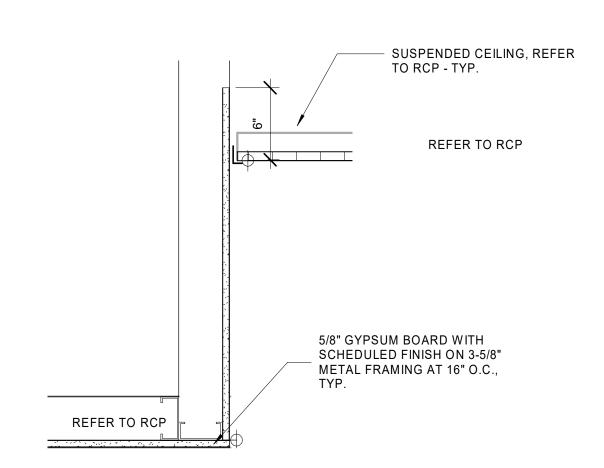
DATE 12/11/19

DRAWN BY Author

CHECKED BY Checker

SCALE 1/4" = 1'-0"





2 DETAIL - GYP TO ACT
A200 1 1/2" = 1'-0"

CEILING GENERAL NOTES 1. CENTER FIRE SPRINKLER HEADS ON TILE (TYP.). COORDINATE ENTIRE FIRE SPRINKLER LAYOUT WITH ARCHITECT. 2. CONTRACTOR TO SCHEDULE CEILING CAVITY COORDINATION MEETING WITH ALL SUBCONTRACTORS AND ARCHITECT PRIOR TO INSTALLING ANY COMPONENTS. 3. CENTER LIGHT FIXTURES WITHIN CEILING TILES AND GYPSUM BOARD SOFFITS IN BOTH DIRECTIONS, UNLESS NOTED OTHERWISE. 4. MECHANICAL CEILING MOUNTED EQUIPMENT (DIFFUSERS, RETURN GRILLES, ETC.) TO BE CENTERED IN CEILING AREAS WHEREVER POSSIBLE. 5. PROVIDE AND INSTALL ACCESS PANELS IN GYPSUM BOARD CEILINGS TO AS NEEDED TO ACCESS ABOVE CEILING EQUIPMENT. G.C. TO REVIEW LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION. ACCESS PANELS SHALL BE PROTECTED AS APPROPRIATE FOR THE FIRE RESISTANCE RATING OF THE BARRIER. 6. VERIFY NEW CEILING HEIGHTS. ALLOW FOR ADEQUATE SPACE TO ACCOMMODATE STRUCTURAL MEMBERS, MECHANICAL DUCTWORK, ELECTRICAL FIXTURES, ETC. PRIOR TO INSTALLATION OF NEW CEILINGS. NOTIFY ARCHITECT IMMEDIATELY IF FIELD CONDITIONS DIFFER FROM DRAWINGS. DO NOT PROCEED UNTIL RECEIVING CLARIFICATION FROM ARCHITECT. 7. EXTERIOR FIXTURES AND INSTALLATION SHALL BE WATERTIGHT. 8. EMERGENCY LIGHT FIXTURES SHALL BE PROVIDED AS REQUIRED BY CODE. 9. PROVIDE ACCESS DOORS AT ALL LOCATIONS INDICATED OR REQUIRED FOR ACCESS TO EQUIPMENT, VALVES, JUNCTION BOXES, ETC. 10. PROVIDE CORNER BEADS, J BEADS AND OTHER GYPSUM BOARD ACCESSORIES AT ALL EXPOSED CORNERS, UNLESS NOTED OTHERWISE. 11. REFER TO ELECTRICAL FOR LIGHT FIXTURE TYPES. 12. COORDINATE LOCATIONS OF AIR HANDLING UNITS WITH CONSTRUCTION. TYPICAL **CEILING TYPES** A1 STANDARD ACOUSTICAL TILE B1 GYP BOARD C1 RULON GRILLE (WOOD PANEL) E EXISTING CEILING (GYP BOARD) **CEILING LEGEND** CEILING TYPE - CEILING HEIGHT ABOVE FINISH FLOOR RETURN C2 - KUZCO LED PENDANT LAMP N1 - EATON HALO COMMERCIAL LED 6" RECESSED DOWNLIGHT N2 - EATON CLASSIC LIN VOLTAGE CYLINDER PENDANT LED L1 - XAL LENO 4' RECESSED L2 - XAL LENO 2' RECESSED K1 - EATON NEO-RAY DEFINE 4 LED RECESSED P1 - KUZCO LED VL62224 WALL SCONCE ILLUMINATED EXIT SIGN (BLACK AREA REPRESENTS DIRECTION OF ILLUMINATED LETTERING) CEILING MOUNTED ILLUMINATED EXIT SIGN (BLACK AREA REPRESENTS DIRECTION OF ILLUMINATED LETTERING) WALL MOUNTED

Size moregroup

T700 COMMERCE DRIVE, NW
ATLANTA, GEORGIA 30318
T: 404 605 0890
F: 404 605 0890
F: 404 605 0890
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ESIDENTROOM LANTA, G

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REFLECTED CEILING PLAN

PROJECT # 18200GRARRC

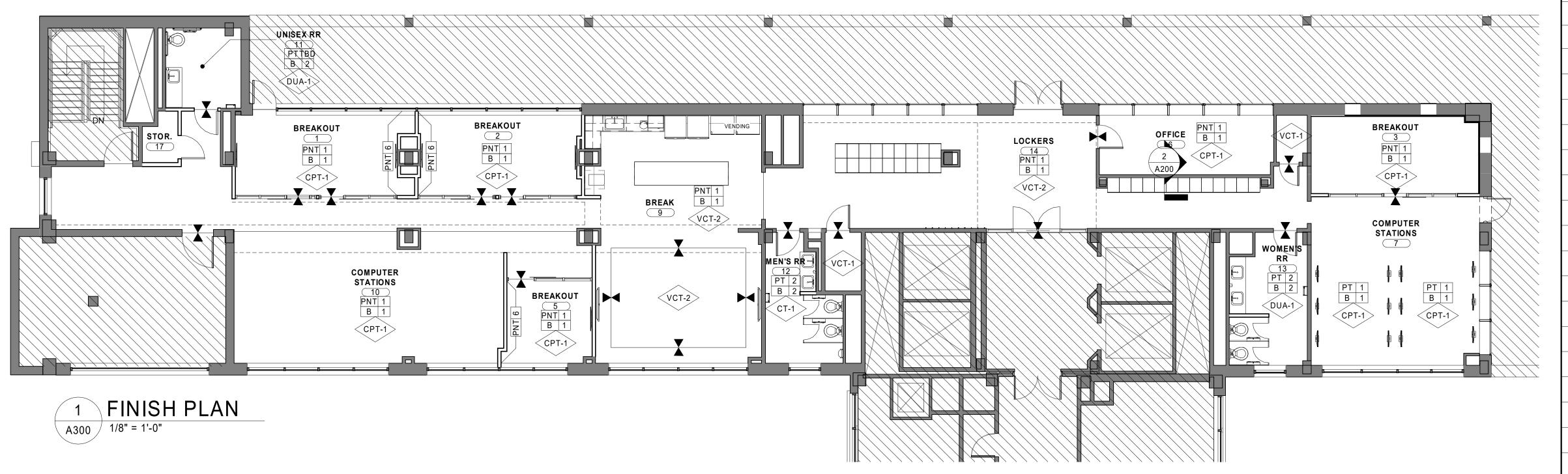
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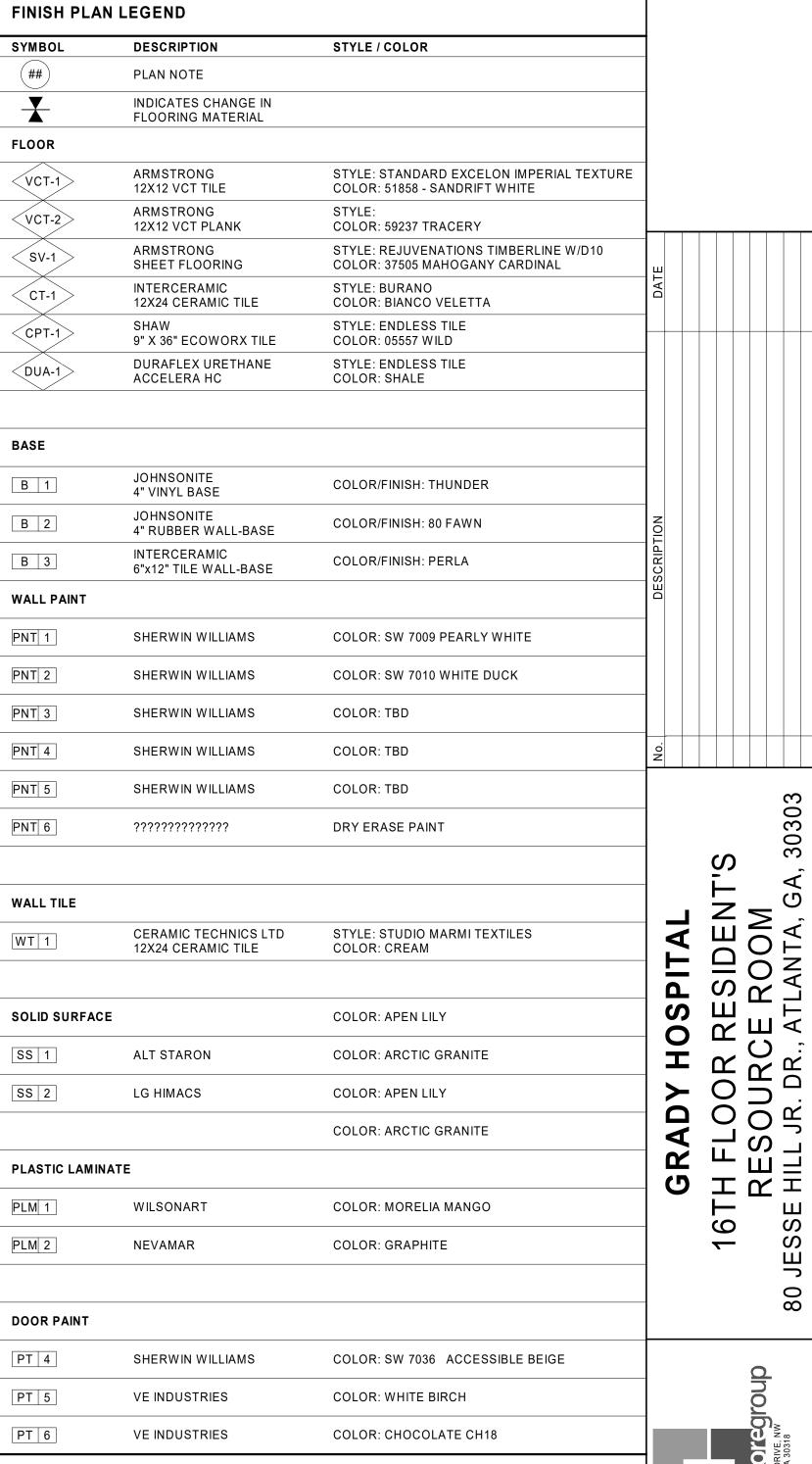
DATE 12/11/19
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SCALE As indicated

AREA NOT IN SCOPE OF WORK

NOT IN CONTRACT (N.I.C.)





GENERAL FINISH PLAN NOTES

- 1. ALL METAL DOOR FRAMES TO BE PAINTED TO MATCH WALL, GLOSS, U.N.O.
- 2. ALL GYP. BOARD CEILINGS TO BE PAINTED PNT-1, FLAT FINISH, U.N.O.
- 3. ALL EXPOSED PAINTED CEILINGS (D1) TO BE PAINTED PNT-5, FLAT FINISH, U.N.O. REFER TO SHEET A200.
- 4. WALL PAINT TO BE SEMI-GLOSS FINISH, U.N.O.

LEGEND

AREA NOT IN SCOPE OF WORK

NOT IN CONTRACT (N.I.C.)

VCT-1

VCT-2

- 5. EXTEND NOTED FLOORING MATERIAL INTO CLOSETS, U.N.O.
- 6. WHERE SEAMS IN FLOORING MATERIALS OCCUR AT DOORS, THEY SHALL BE PARALLEL WITH THE DOOR IN THE CLOSED POSITION AND CENTERED ON THE THICKNESS OF THE DOOR,
- 7. FURNISH AND INSTALL CONTINUOUS ROLL RUBBER BASE. WRAP BASE AT CASED OPENINGS AND STUB WALLS.
- 8. CARPET TO RESILIENT FLOORING TRANSITIONS AT DOORWAYS ARE TO OCCUR DIRECLY UNDER CENTERLINE OF DOOR.
- 9. PROVIDE ADA COMPLIANT RUBBER TRANSITION TO BE INSTALLED WHERE CARPET MEET RESILIENT FLOORING.
- 10. ALL CABINET DOORS AND DRAWERS TO HAVE LOCKS.
- 11. REFER TO SHEET A100.1 FOR ADD ALTERNATES.
- 12. METAL DOORS TO BE PAINTED TO MATCH WALL PAINT. REFER TO DOOR SCHEDULE.
- 13. SPECIFY RUBBER NOSING AT STEP OF JUDGE'S BENCH.

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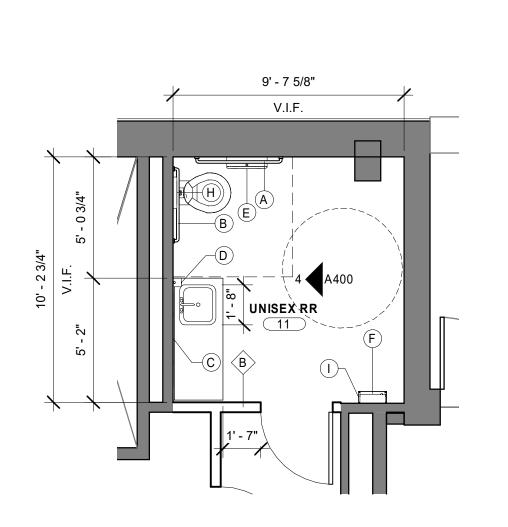
FINISH PLAN & PATTERN PLAN

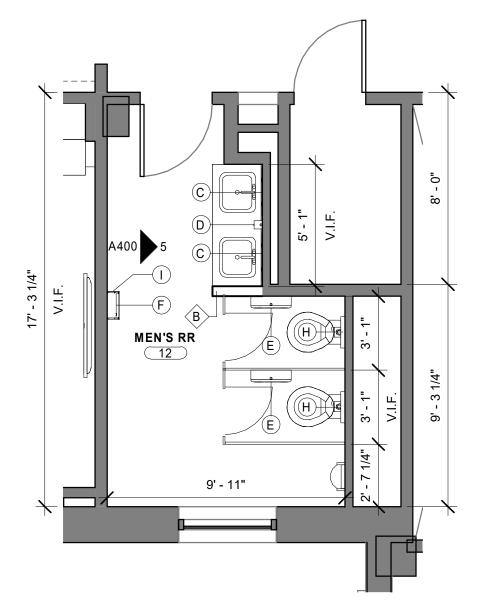
PROJECT# 18200GRARRC DATE 12/11/19

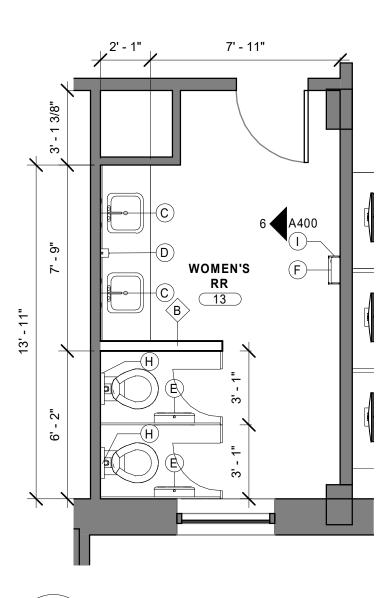
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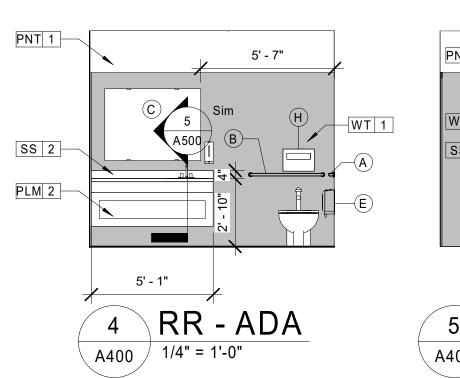
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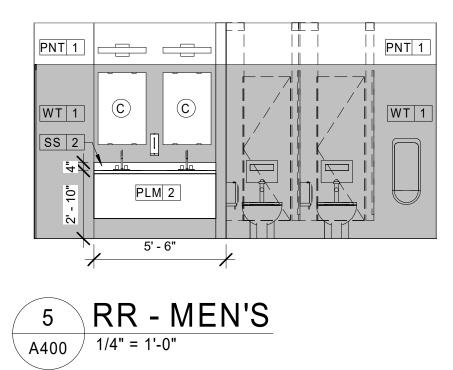
NOT FOR CONSTRUCTION

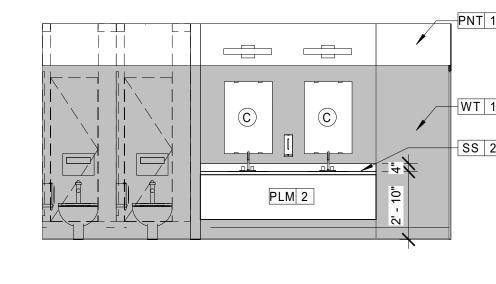










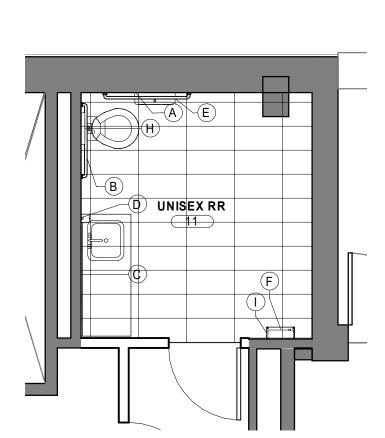


6 RR - WOMEN'S
1/4" = 1'-0"

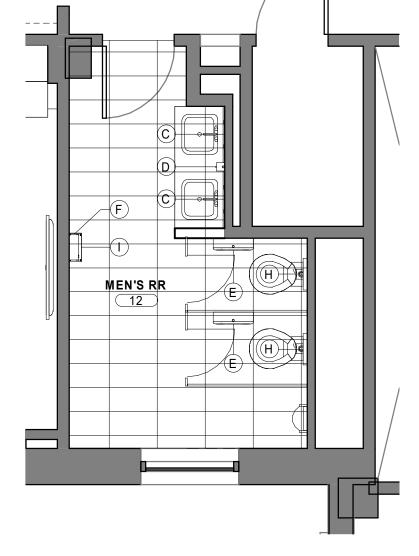




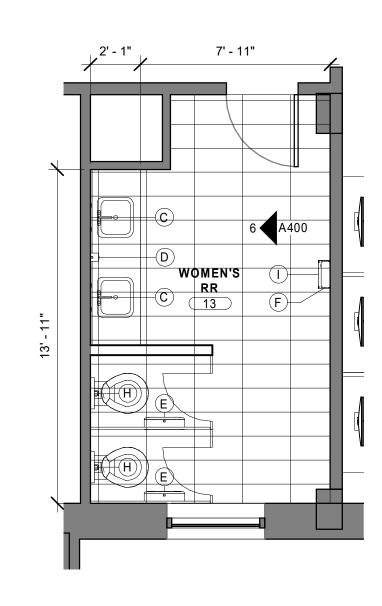




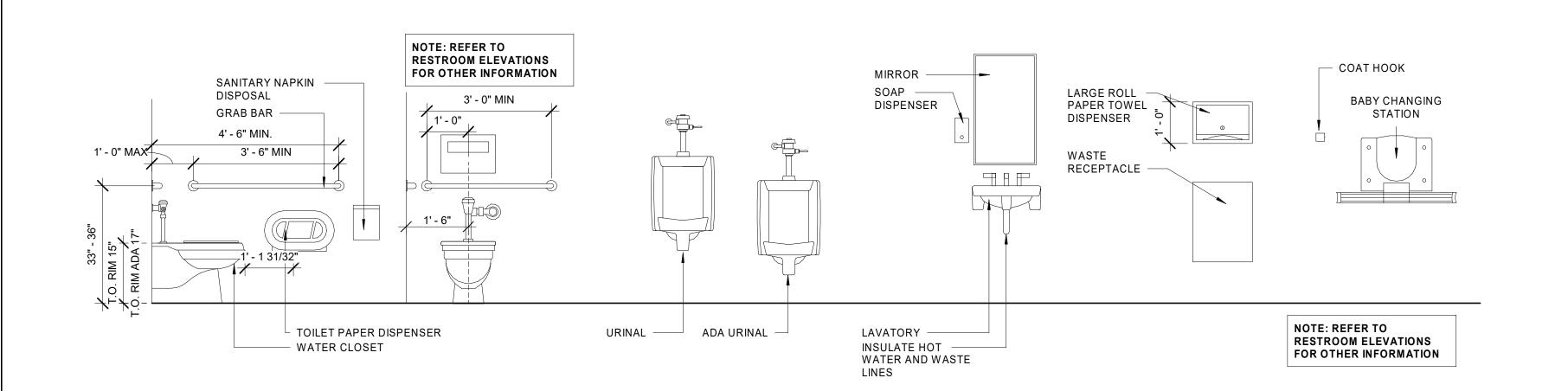




9 PATTERN PLAN - MEN'S RR
A400 1/4" = 1'-0"



10 PATTERN PLAN - WOMEN'S RR
A400 1/4" = 1'-0"



	TOILET ACCESSORIES LEGEND (SEE SH	IEET A300 FOR FINISH L	.EGEND)			SIZE MOKEGINE, NW ANTA, GEORGIA 30318 4 605 0890 4 605 0890 6.sizemoregroup com 6.11 SizeMORE GROUP
SYMBOL	DESCRIPTION	MANUFACTURER	ITEM #	FINISH	REMARKS	COMMEI COMMEI NTA, GE 1605 065 1605 065 11 SIZEM
A	36" GRAB BAR	TBD	TBD			1700 1700 ATLA ATLA F : 402 www w 202
(B)	42" GRAB BAR	TBD	TBD			THIS DRAWING IS AN INSTRUMENT OF
C	FRAMELESS MIRROR	TBD	TBD			SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN
(D)	WALL MOUNTED SOAP DISPENSER	STEALTH ALPINE	9961-0001			ANY FORM, ELECTRONICALLY OR MECHANICALLY, FOR ANY PURPOSE, WITHOUT THE EXPRESS WRITTEN
E	TOILET PAPER DISPENSER	SIDE-BY-SIDE	56797A	TRANSLUCENT WHITE PLASTIC		PERMISSION OF THE ARCHITECT.
F	SURFACE MOUNTED PAPER TOWEL DISPENSER	TORK ELEVATION MATIC	5510202			DECTROOM
G	HAND DRYER	DYSON AIRBLADE	HU02	WHITE		RESTROOM ELEVATIONS
H	SURFACE MOUNTED TOILET COVER DISPENSER	TOUGH GUY	2VEX8	PLASTIC		&
	RECESSED WASTE RECEPTACLE	VENTED SLIM JIM	FG354060		23 GAL	ENLARGED
J	SURFACE MOUNT SANITARY NAPKIN DISPOSAL	TBD	TBD			PLANS
K	RECESSED BABY CHANGING STATION	TBD	TBD			
M	MOP HOLDER	TBD	TBD			
N	COAT HOOK - PROVIDE AT SHOWER AREAS	TBD	2072	NICKEL		PROJECT# 18200GRARRC
0	TOILET PARTITIONS	TBD	TBD			DATE 12/11/19
P	SOAP DISPENSER	TBD	TBD			DRAWN BY Author

SCALE As indicated

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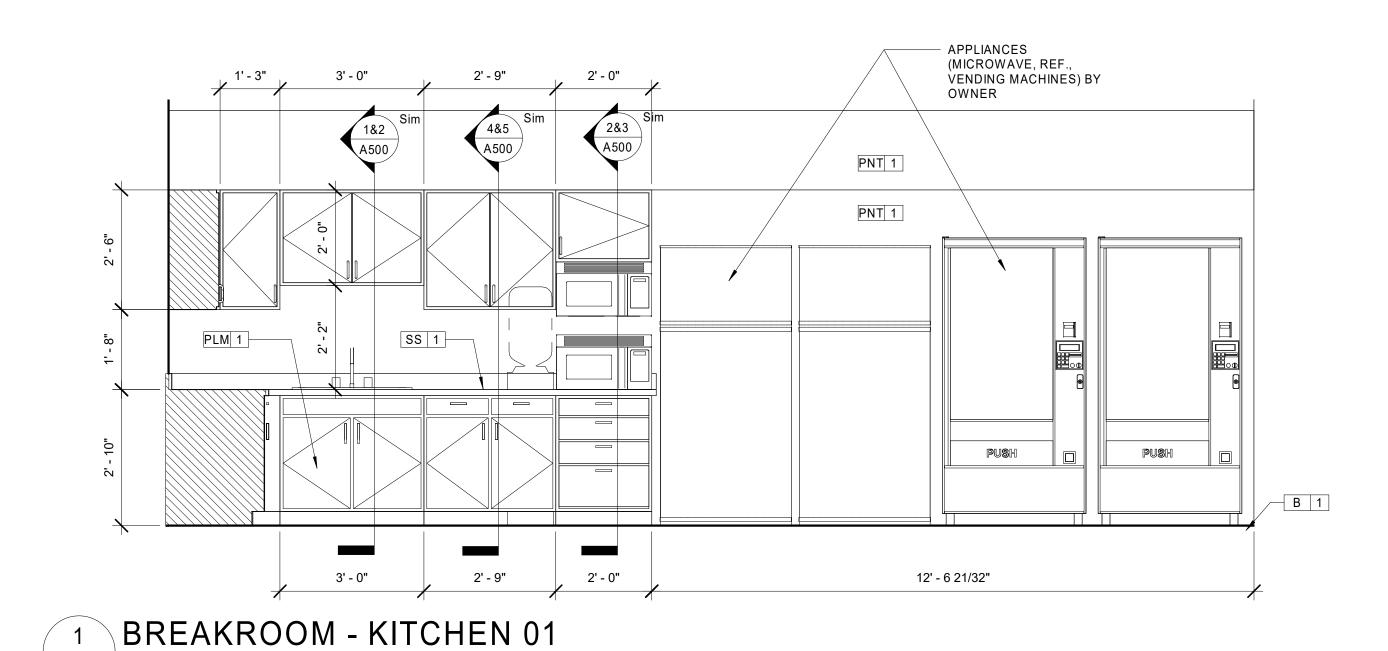
JESSE

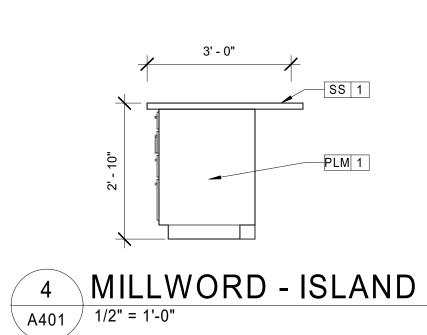
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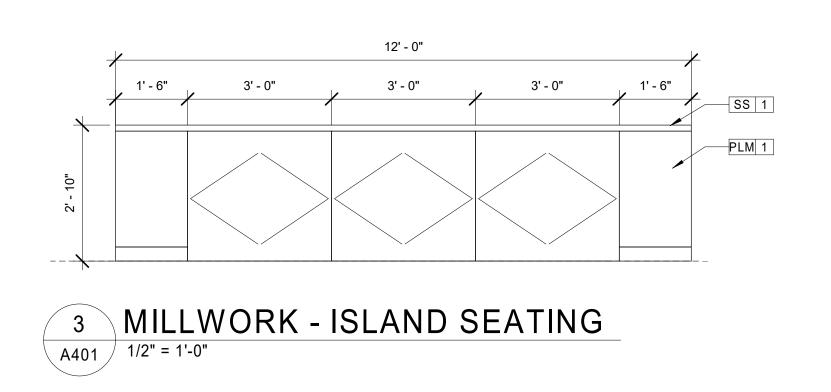
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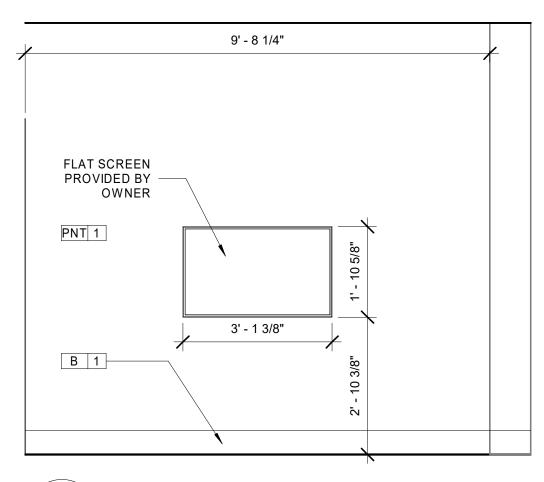
16TH FLOOR RESIDENT
RESOURCE ROOM
ESSE HILL JR. DR., ATLANTA, G.



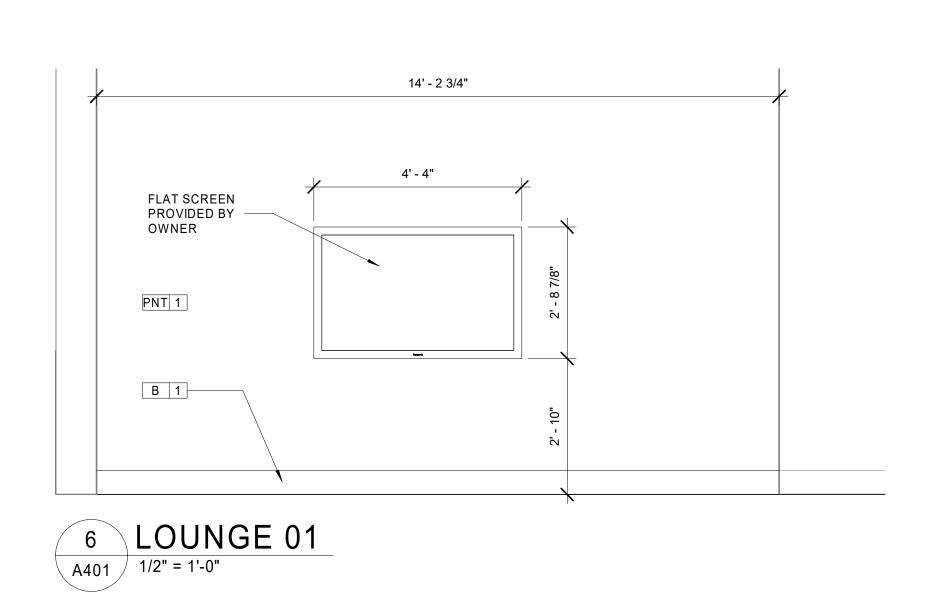


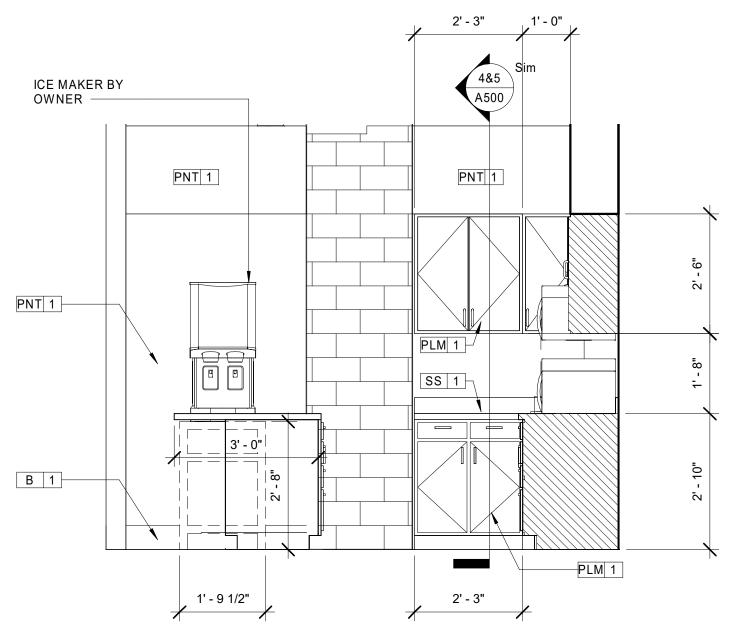
A401 1/2" = 1'-0"



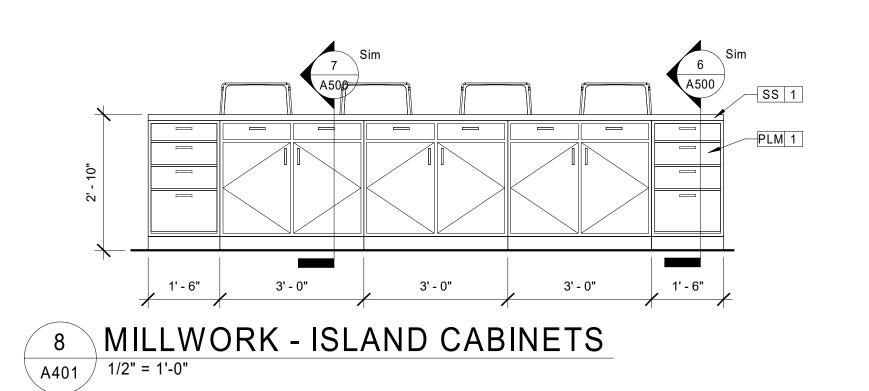


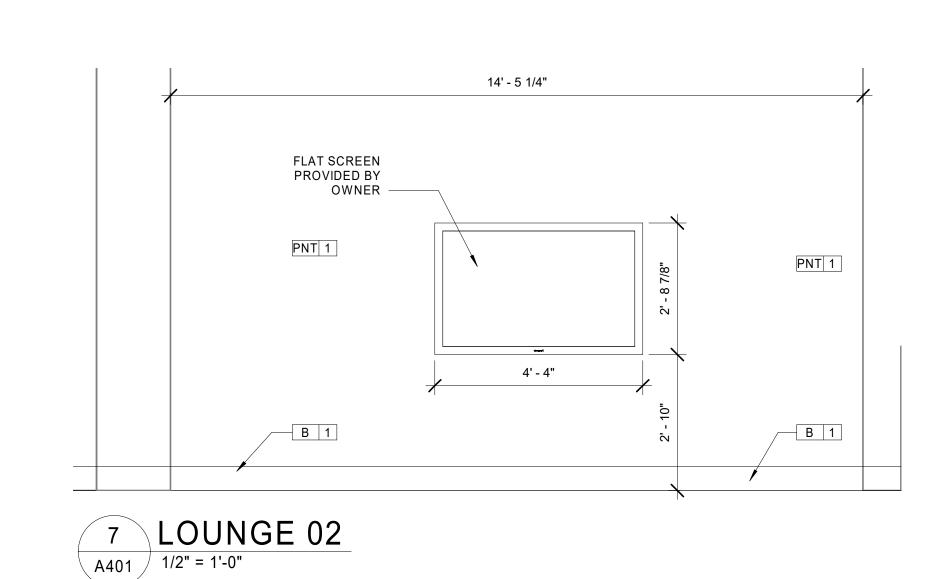






2 BREAKROOM - KITCHEN 02
A401 1/2" = 1'-0"





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RESOURCE ROOM
80 JESSE HILL JR. DR., ATLANTA, G,



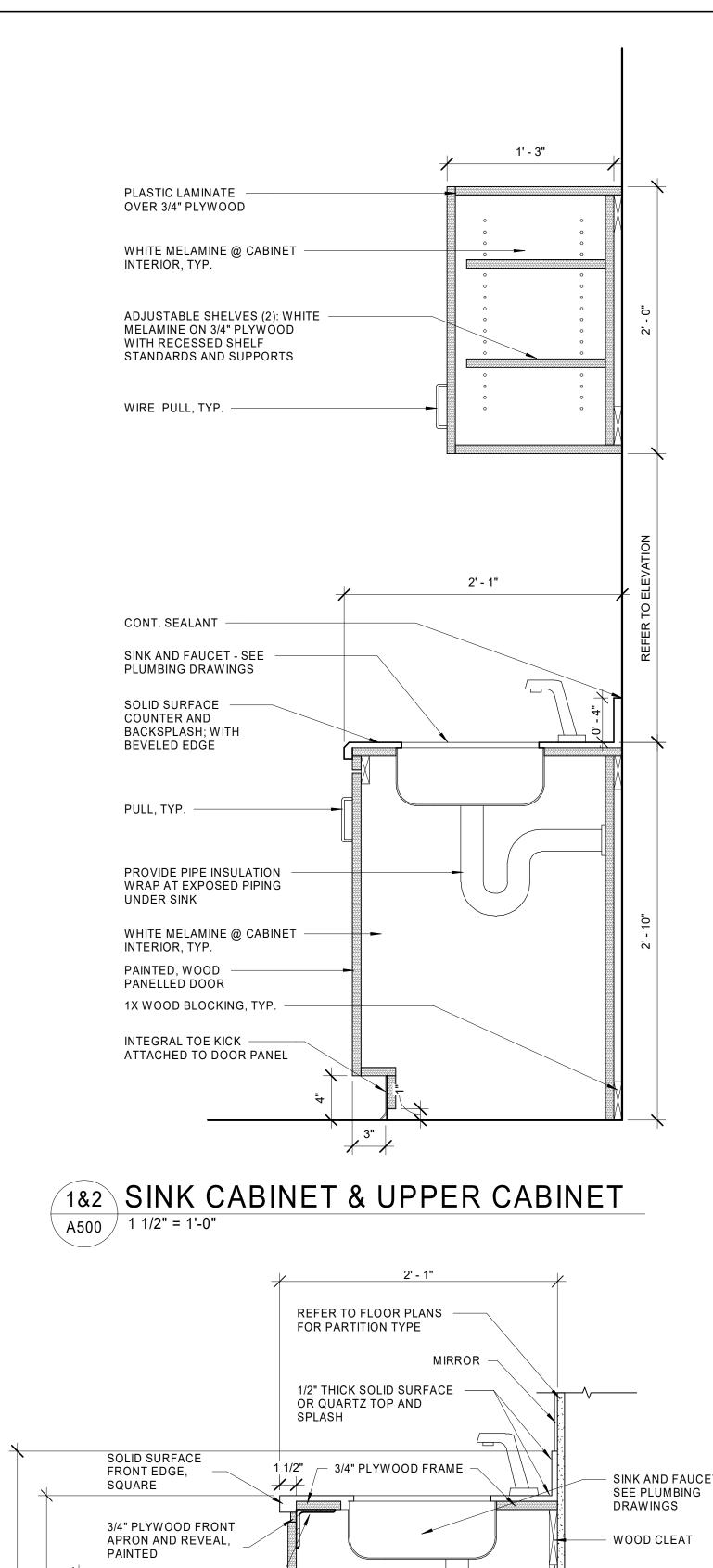
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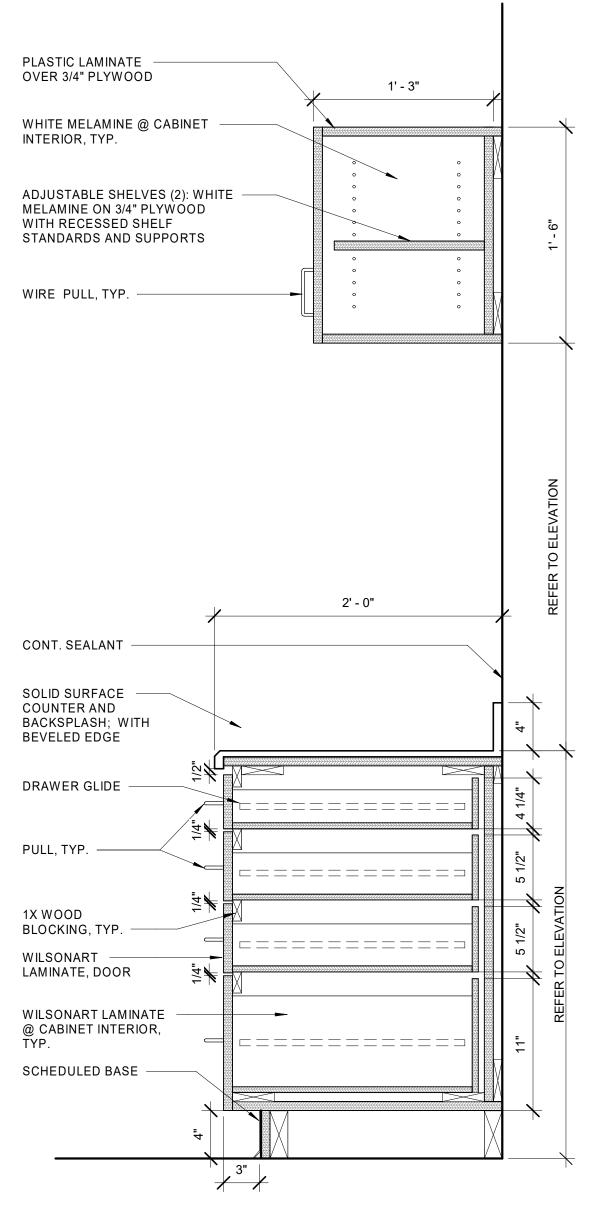
ELEVATIONS

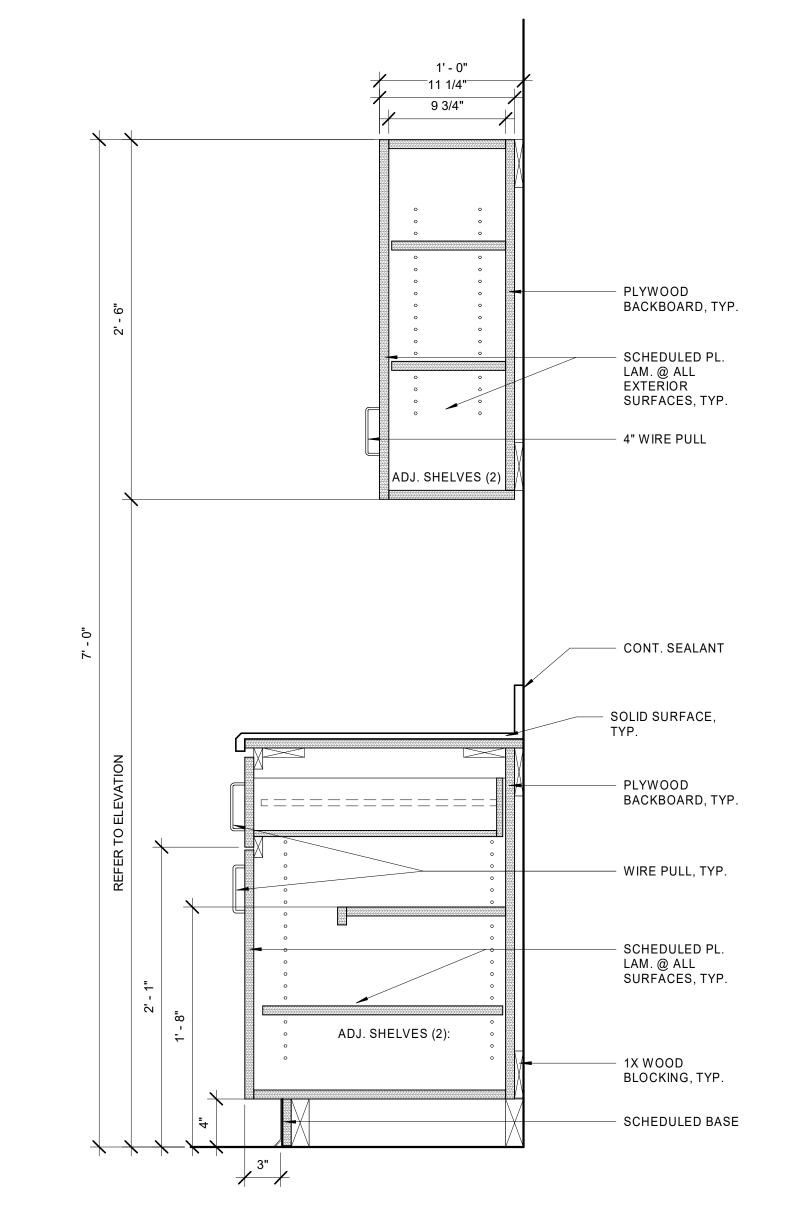
PROJECT# 18200GRARRC

DATE 12/11/19
DRAWN BY Author
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SCALE 1/2" = 1'-0"



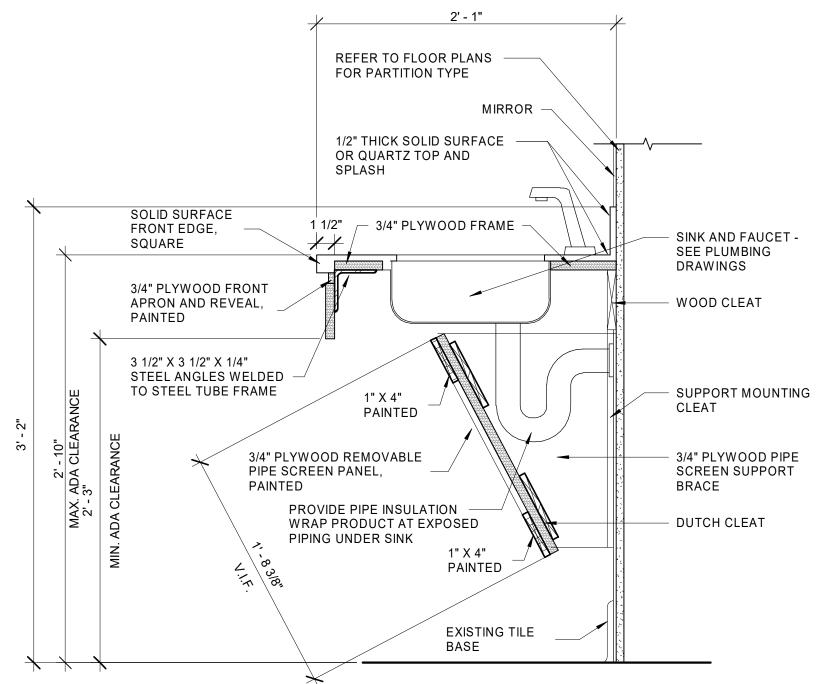




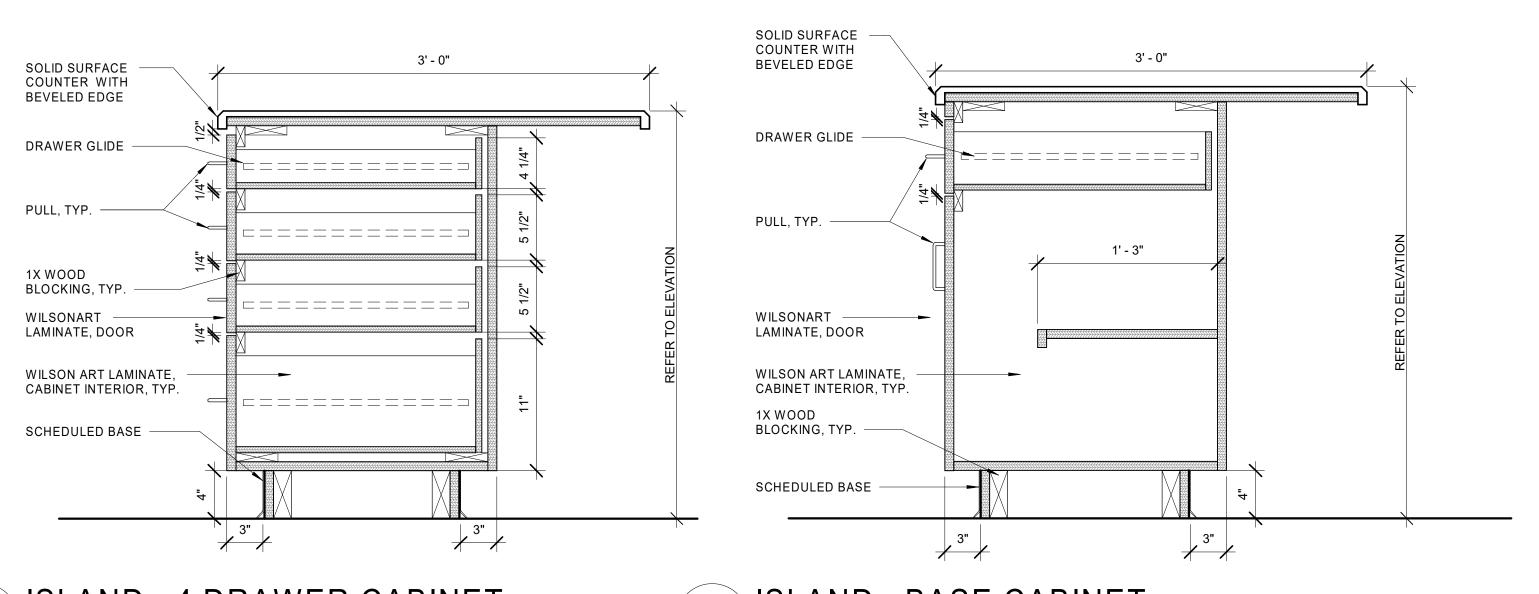
2&3 4 DRAWER BASE & UPPER CABINET A500 1 1/2" = 1'-0"

4&5 BASE AND UPPER CABINET

1 1/2" = 1'-0"





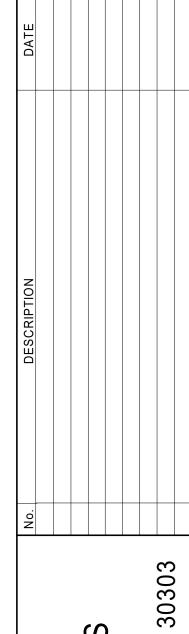


6 ISLAND - 4 DRAWER CABINET

1 1/2" = 1'-0"

7 ISLAND - BASE CABINET
A500 1 1/2" = 1'-0"

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MILLWORK & WALL DETAILS

PROJECT # 18200GRARRC

DATE 12/11/19

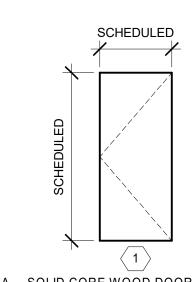
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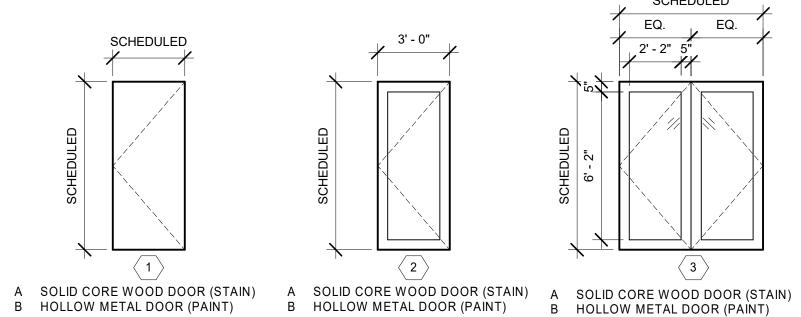
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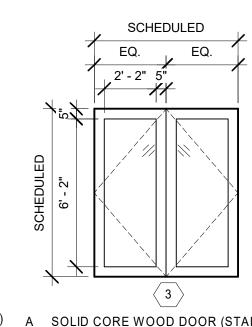
A500

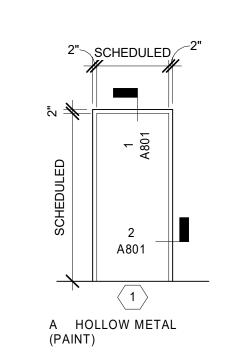
SCALE 1 1/2" = 1'-0"

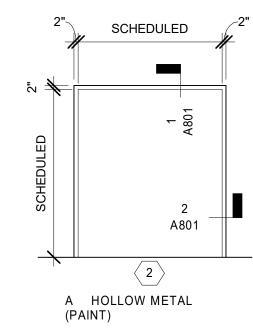
DOOR NUMBER		DOOR						FRAME						HARDWARE		
	LOCATION	DOOR TYPE	WIDTH	HEIGHT	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	HEAD	JAMB	SILL	Fire Rating	SET TYPE	PANIC	COMMENTS
	•									•	•		•			
11	UNISEX RESTROOM	1	3' - 0"	7' - 0"	WD	STAIN	1	HM	PT-5	4/A800	5/A800	0' - 0"	-			
17	STORAGE	1	3' - 0"	7' - 0"	WD	STAIN	1	HM	PT-5	4/A800	5/A800	0' - 0"	-			
7	COMPUTER STATIONS	2	3' - 0"	7' - 0"	WD	STAIN	1	HM	PT-5	4/A800	5/A800	0' - 0"	-			
15	ELEVATOR LOBBY	3	6' - 0"			STAIN	1	GLASS		4/A800	5/A800		1 HR			

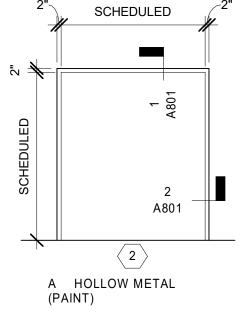






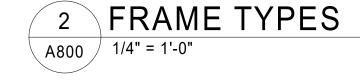


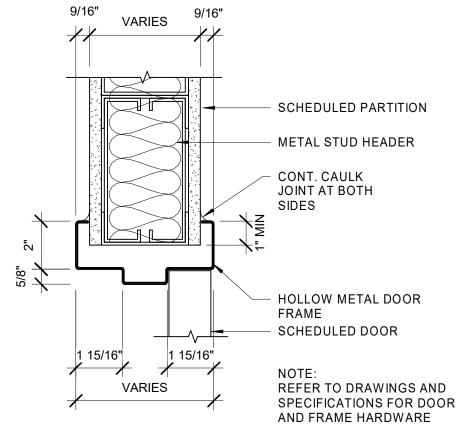


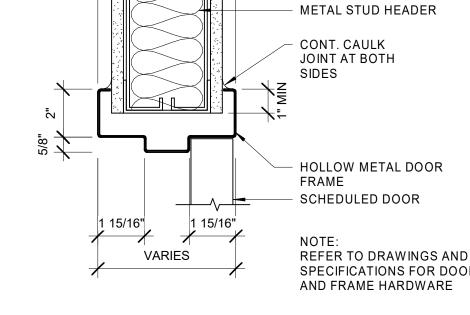


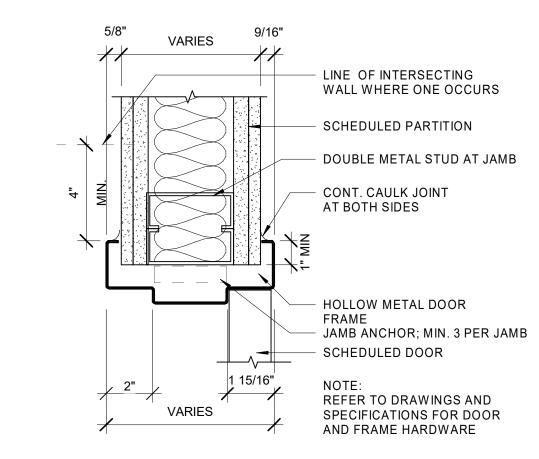
DOOR & FRAME TYPES

A800 1/4" = 1'-0"



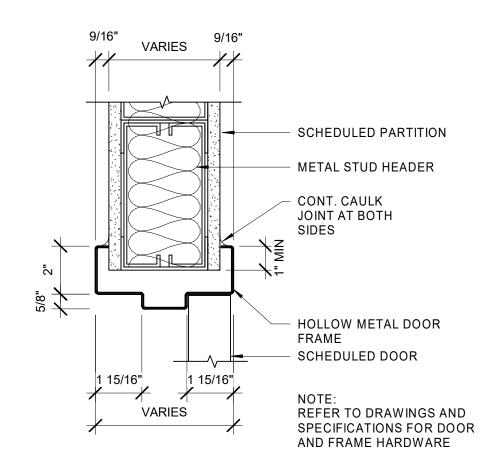






5 DOOR JAMB DETAIL A800 3" = 1'-0"

DOOR HEAD DETAIL



- LINE OF INTERSECTING WALL WHERE ONE OCCURS SCHEDULED PARTITION - DOUBLE METAL STUD AT JAMB CONT. CAULK JOINT AT BOTH SIDES - HOLLOW METAL DOOR FRAME

— JAMB ANCHOR; MIN. 3 PER JAMB SCHEDULED DOOR 1 15/16" 1 15/16" NOTE: REFER TO DRAWINGS AND SPECIFICATIONS FOR DOOR AND FRAME HARDWARE VARIES

4 DOOR HEAD DETAIL
A800 3" = 1'-0"

6 DOOR JAMB DETAIL
A800 3" = 1'-0"

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SCHEDULE

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GRADY HOS
16TH FLOOR RE
RESOURCE
ESSE HILL JR. DR., AT

JESSE

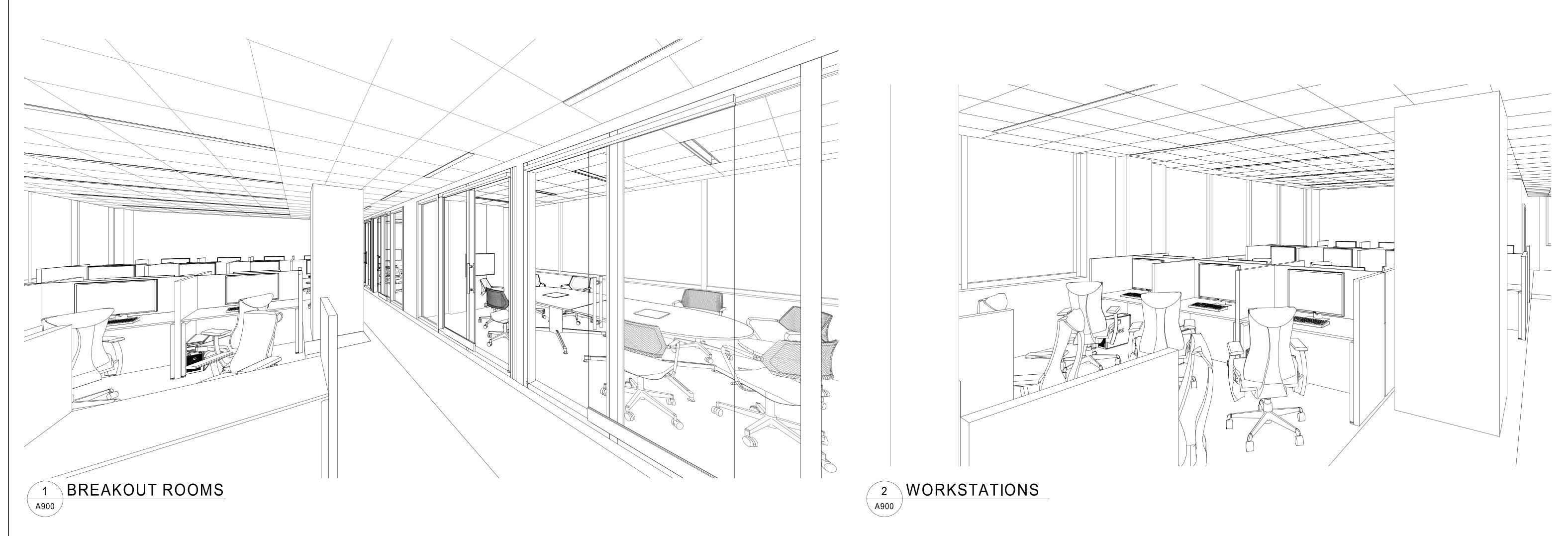
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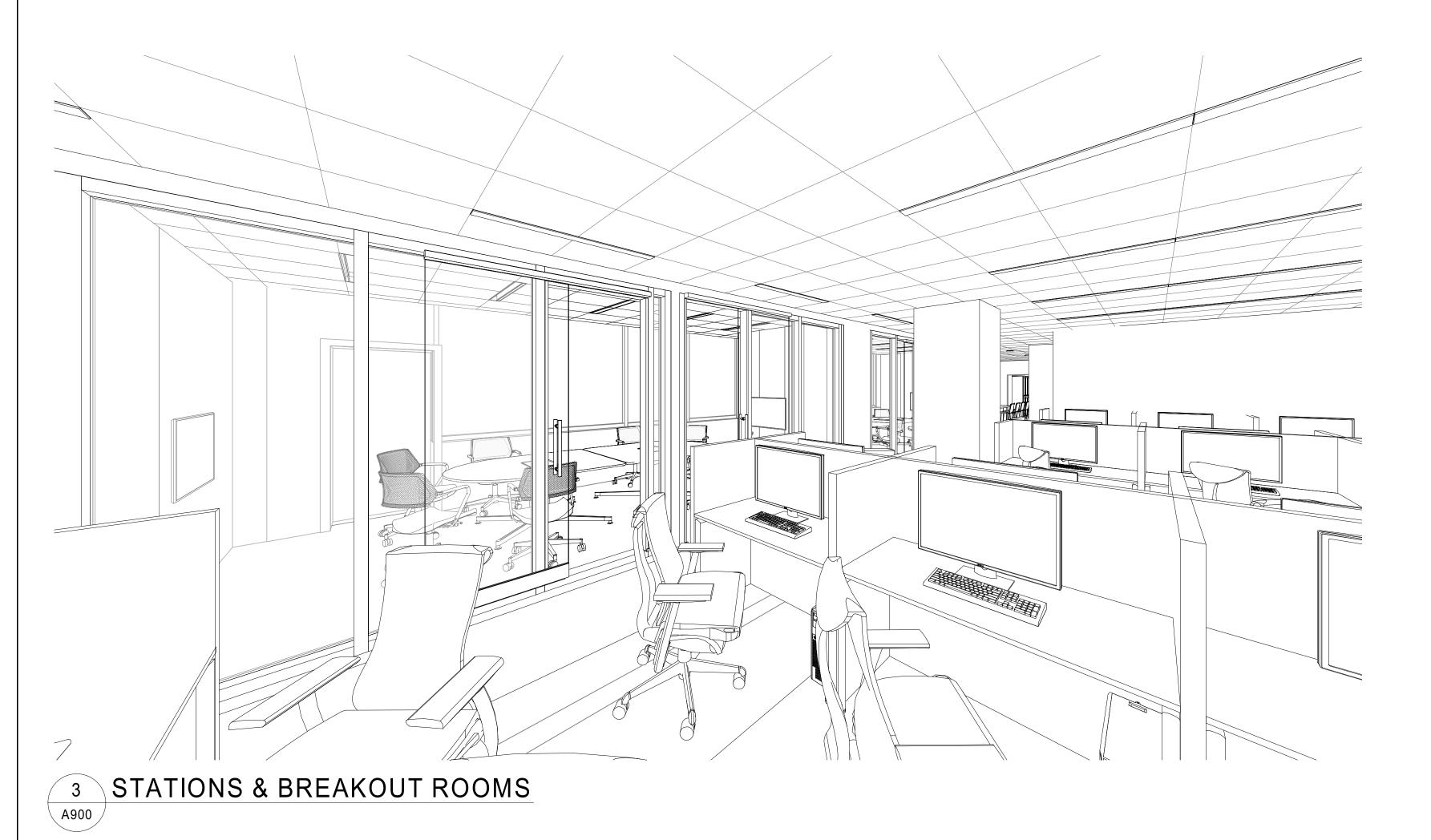
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PROJECT# 18200GRARRC DATE 12/11/19 DRAWN BY

> A800 SCALE As indicated

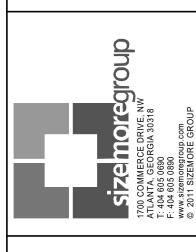
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GRADY HOSPITAL

16TH FLOOR RESIDENT'S
RESOURCE ROOM
JESSE HILL JR. DR., ATLANTA, GA, 30303



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3D VIEWS -WORK AREA

PROJECT # 18200GRARRC

DATE 12/11/19

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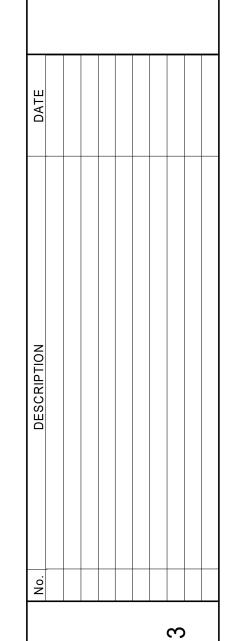
A90

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3D VIEWS -LOUNGE AREAS

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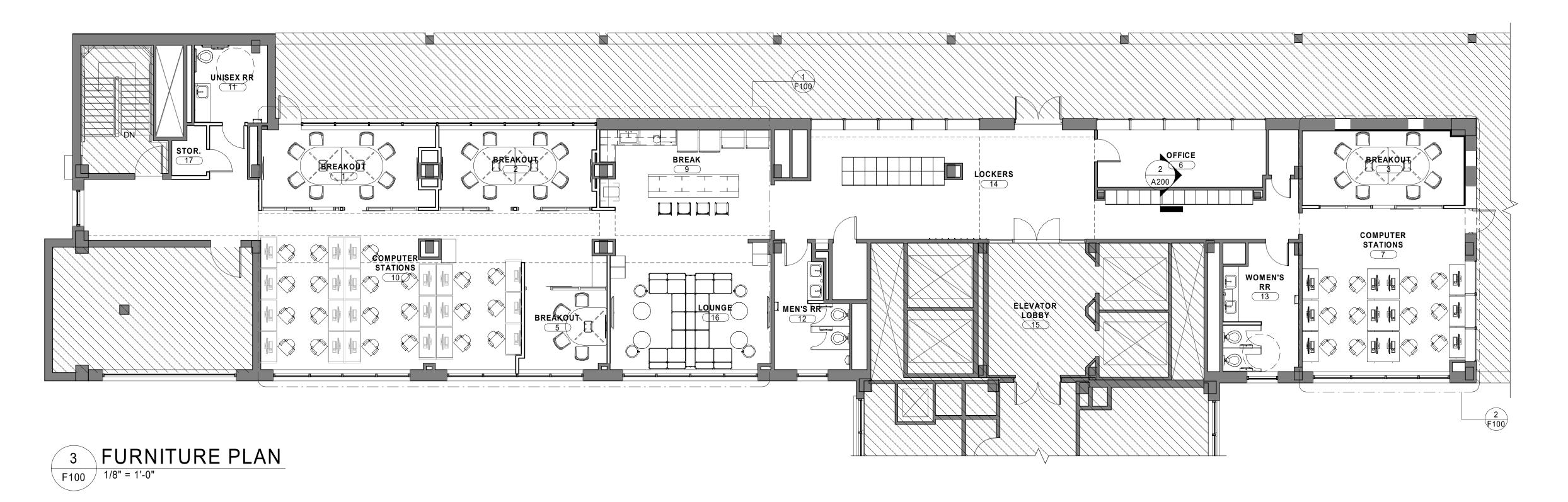
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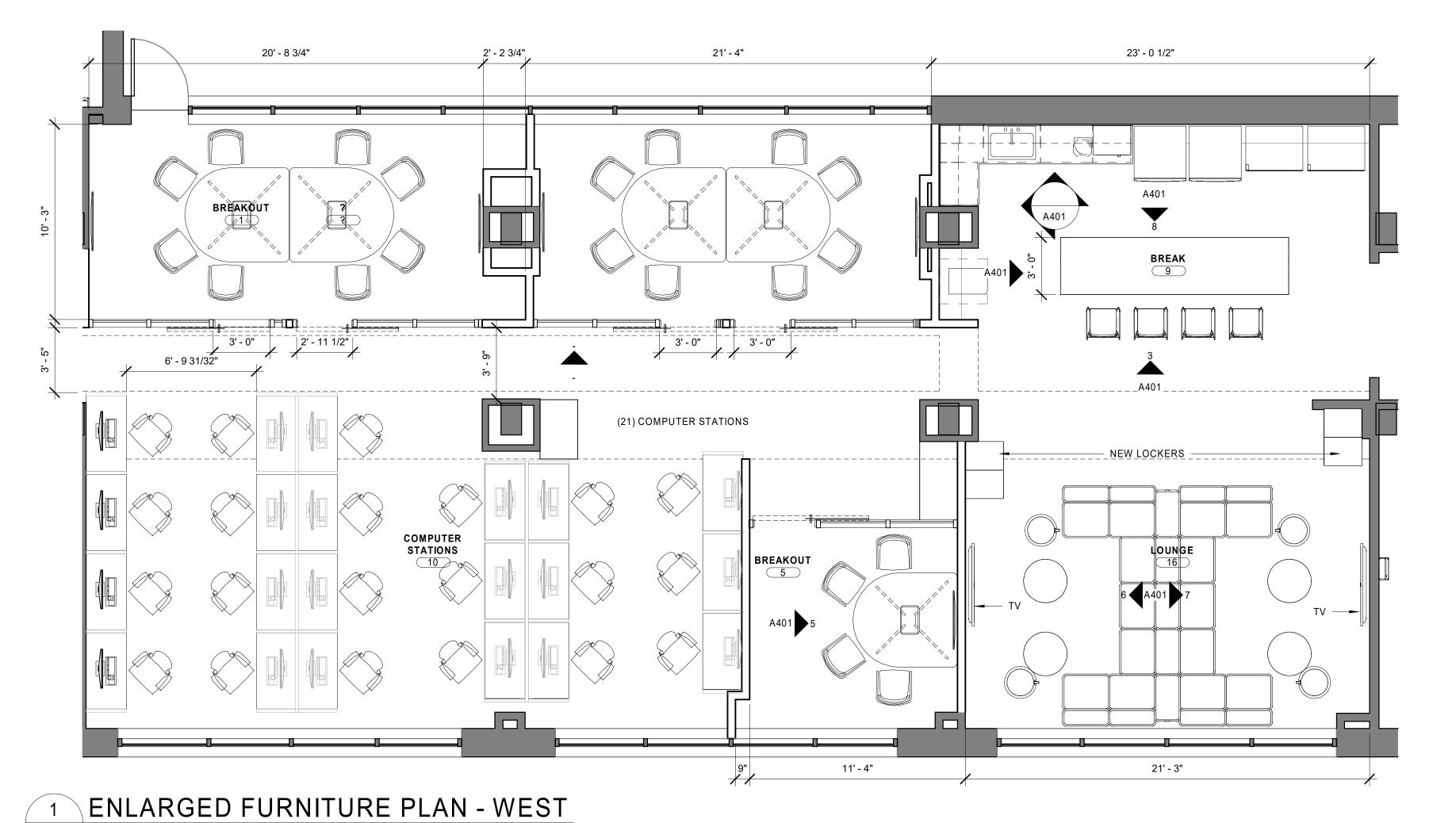
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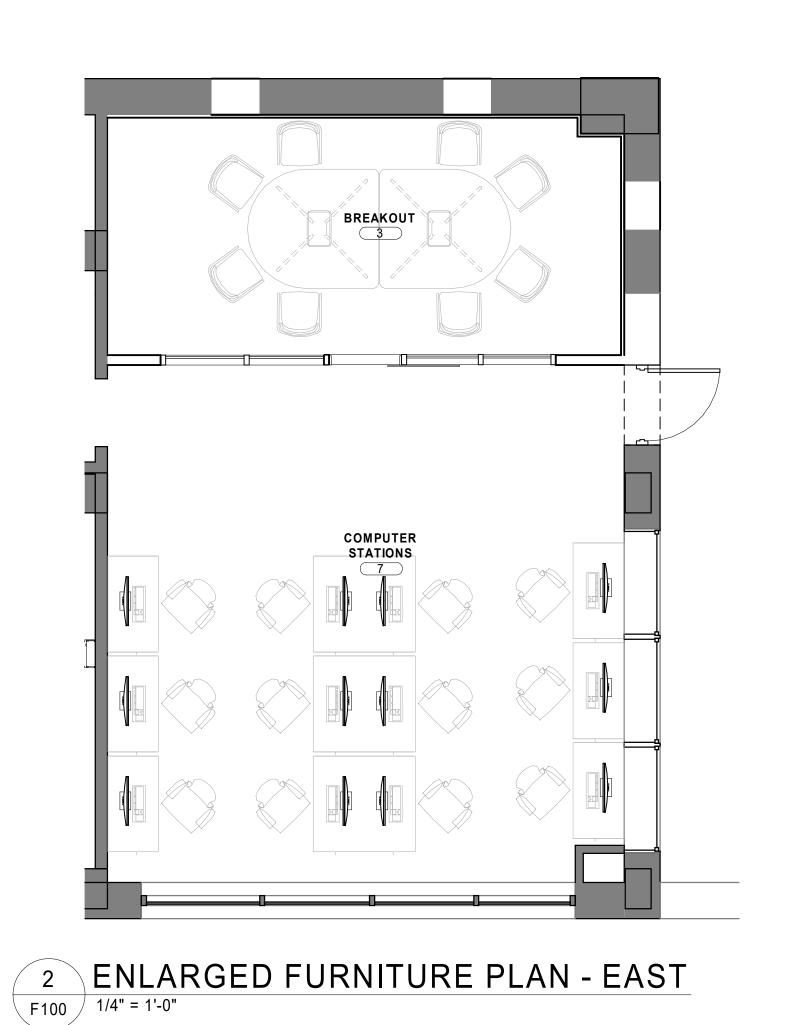
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F100 1/4" = 1'-0"



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NOT FOR CONSTRUCTION SCALE As indicated

- NOTION CONSTRUCTION

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16TH FLOOR RESIDENT'S
RESOURCE ROOM
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FURNITURE

PLAN

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