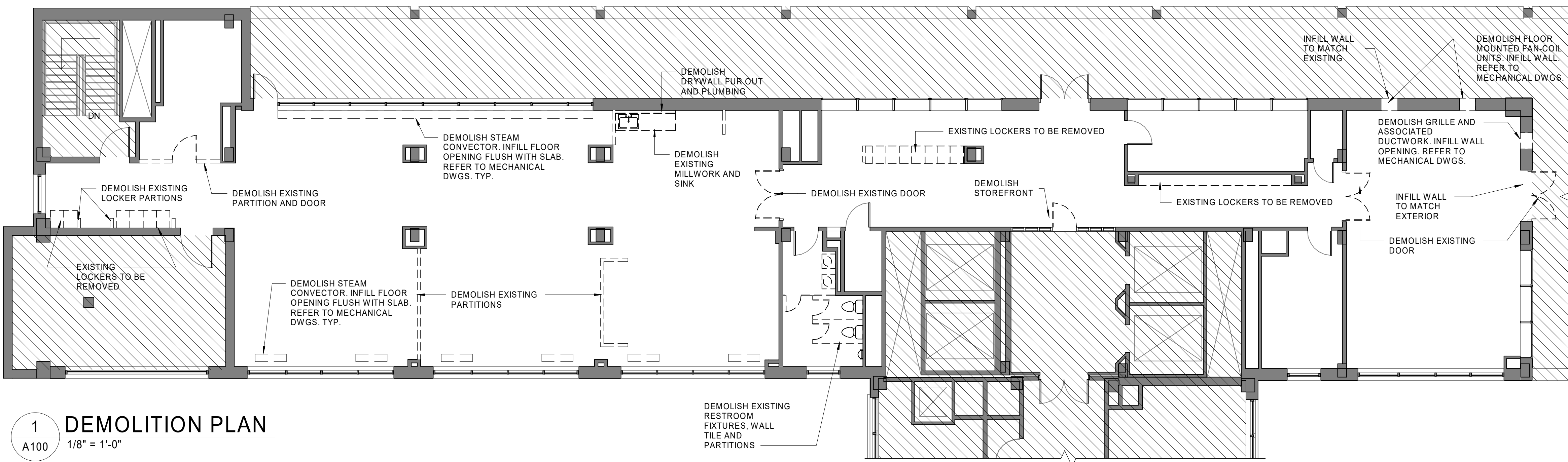


+ Grady

80 JESSE HILL JR. DR., ATLANTA, GA 30303

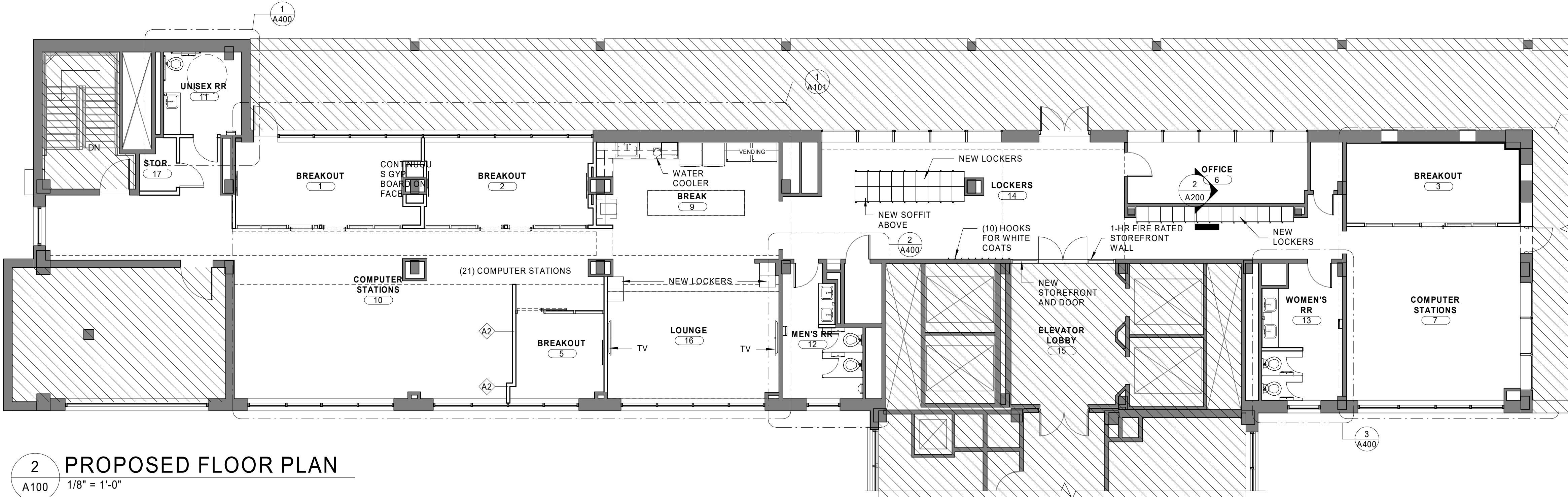
C:\Users\andrewt\Documents\19400GRADYR RESIDENT RESOURCE CENTER CD andrewt2B5J2.rvt 9/23/2021 10:42:51 AM

9/23/2021 10:42:52 AM



1
A100 1/8" = 1'-0"

DEMOLITION PLAN



2
A100 1/8" = 1'-0"

PROPOSED FLOOR PLAN

DEMOLITION GENERAL NOTES

1. IF GENERAL CONTRACTOR DISCOVERS EXISTING CONDITIONS THAT ARE NOT INDICATED ON THE DRAWINGS, HE SHALL CONTACT THE ARCHITECT BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
2. DEBRIS RESULTING FROM DEMOLITION AND CONSTRUCTION SHALL BE REMOVED ENTIRELY FROM THE BUILDING SITE ON A DAILY BASIS TO A WASTE AREA PROVIDED BY THE CONTRACTOR.
3. SURFACES DISTURBED BY DEMOLITION, CUTTING, PATCHING, OR IN ANY OTHER WAY, SHALL BE FINISHED TO MATCH THE EXISTING ADJACENT SURFACES IN TEXTURE AND COLOR. PATCHED SHALL BE IMPERCEPTIBLE.
4. CARE SHALL BE TAKEN IN REMOVAL OF ITEMS TO REMAIN THE OWNER'S PROPERTY TO PREVENT DAMAGE. STORE ITEMS WHERE DIRECTED BY THE OWNER. ALL OTHER MATERIALS REMOVED BY THE DEMOLITION WORK AND NOT INDICATED TO BE RELOCATED OR REUSED IN THE PROJECT SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND REMOVED FROM THE SITE AS WORK PROGRESSES.
5. MAINTAIN BUILDING SECURITY AT ALL TIMES.
6. PROTECT EXISTING BUILDING AREAS FROM DAMAGE FROM DEBRIS AND DUST DURING CONSTRUCTION.
7. GC TO COORDINATE PRE-CONSTRUCTION MEETING TO DISCUSS PHASING/SEQUENCING OF ALL DEMOLITION WORK WITH OWNER, INCLUDING ANY NEEDS TO SHUT OFF WATER OR POWER FOR ANY PLUMBING & APPLIANCE ITEMS.
8. G.C. SHALL VERIFY THE LOCATION, IDENTITY AND SIZE OF ALL COMPONENTS AND MATERIAL TO BE REMOVED PRIOR TO BEGINNING DEMOLITION WORK. REFERENCE ENTIRE CONTRACT DOCUMENTS FOR COMPLETE PROJECT REQUIREMENTS.
9. A SCHEDULE OF REQUIRED SHUTDOWNS AND OTHER DISTURBANCES TO THE BUILDING SHALL BE COORDINATED WITH THE OWNER OR BUILDING MANAGEMENT PRIOR TO BEGINNING WORK.
10. EQUIPMENT AND MATERIAL REMOVED FROM SERVICE BECOMES PROPERTY OF THE CONTRACTOR UNTIL DISPOSED OF OR PLACE BACK IN SERVICE WORKING CONDITION. TRANSPORT AND DISPOSE OF DEMOLISHED EQUIPMENT AND MATERIAL TO AN APPROPRIATE DISPOSAL LOCATION OFF PROJECT PROPERTY.
11. OWNER SHALL BE GIVEN THE OPPORTUNITY OF FIRST RIGHT OR REFUSAL FOR DEMOLISHED MATERIALS AND EQUIPMENT.
12. CONTRACTOR TO PATCH AND REPAIR AREAS IN WHICH DEMOLITION CAUSED DAMAGE.

FLOOR PLAN NOTES

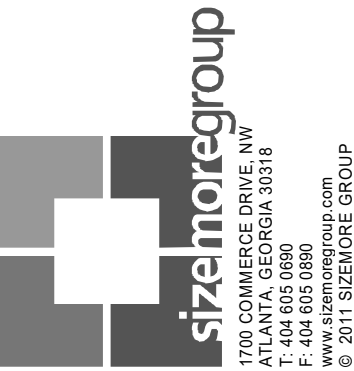
1. DRAWINGS, IN GENERAL, ARE DIAGRAMMATIC IN NATURE AND ARE INTENDED TO CONVEY, IN CONJUNCTION WITH THE COMPLETE CONTRACT DOCUMENTS, A COMPLETE AND FUNCTIONAL SYSTEM. COORDINATION OF WORK WITH OTHER TRADES IS REQUIRED BEFORE PROCEEDING WITH WORK.
2. DO NOT SCALE DRAWINGS - USE DIMENSIONS ONLY. FOR DIMENSIONS NOT SHOWN OR IN QUESTION, CONTRACTOR SHALL REQUEST CLARIFICATION FROM ARCHITECT BEFORE PROCEEDING.
3. CONTRACTOR SHALL MAINTAIN ON SITE, AVAILABLE FOR REVIEW, A MASTER SET OF MARKED UP DRAWINGS REFLECTING "AS BUILT" CONDITIONS. UPON CONCLUSION OF PROJECT, "AS BUILT" DRAWINGS SHALL BE TURNED OVER TO OWNER.
4. DETAILS AND SECTIONS ARE INTENDED TO BE TYPICAL AND INDICATED BASIC DESIGN, AND SHALL APPLY TO SIMILAR SITUATIONS. ADAPTATIONS TO SPECIFIC PROJECT CONDITIONS MAY BE REQUIRED. BASIC DESIGN INTENT IS TO BE RETAINED.
5. AFTER COMPLETION OF WORK ALL ADDITIONAL MATERIALS REMAINING DUE TO CONSTRUCTION SHALL BECOME PROPERTY OF THE GENERAL CONTRACTOR WITH ALL APPLICABLE LAWS, ORDINANCES, RULES AND REGULATIONS UNLESS NOTIFIED OTHERWISE. CONTRACTOR SHALL ALSO REMOVE ALL WASTE DEBRIS, RUBBISH, TOOLS, EQUIPMENT AND SURPLUS MATERIAL UPON COMPLETION OF WORK THROUGHOUT CONSTRUCTION. SITE SHALL BE ORGANIZED AND CLEANED BY CONTRACTOR ON A DAILY BASIS.
6. GC SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS ON THE SITE. GC SHALL REPORT ALL DISCREPANCIES BETWEEN THE JOB AND DRAWINGS TO THE OWNER IMMEDIATELY.
7. ALL ANGLES ARE 90 DEGREES UNLESS NOTED OTHERWISE.
8. CONTRACTOR TO SUBMIT PRODUCT DATA FOR ALL NEW ITEMS, INCLUDING BUT NOT LIMITED TO FINISHES, FIXTURES, ETC. FOR OWNER APPROVAL PRIOR TO ORDERING.

FLOOR PLAN LEGEND

- EXISTING TO REMAIN
- ITEMS TO BE DEMOLISHED (U.N.O.)
- NEW WORK CONSTRUCTION
- AREA NOT IN SCOPE OF WORK NOT IN CONTRACT (N.I.C.)

KEY PLAN

GRADY HOSPITAL
16TH FLOOR RESIDENT'S
RESOURCE ROOM
80 JESSE HILL JR. DR., ATLANTA, GA, 30303



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FLOOR
PLANS -
DEMO &
PROPOSED

PROJECT # 18200GRARRC

DATE 12/11/19

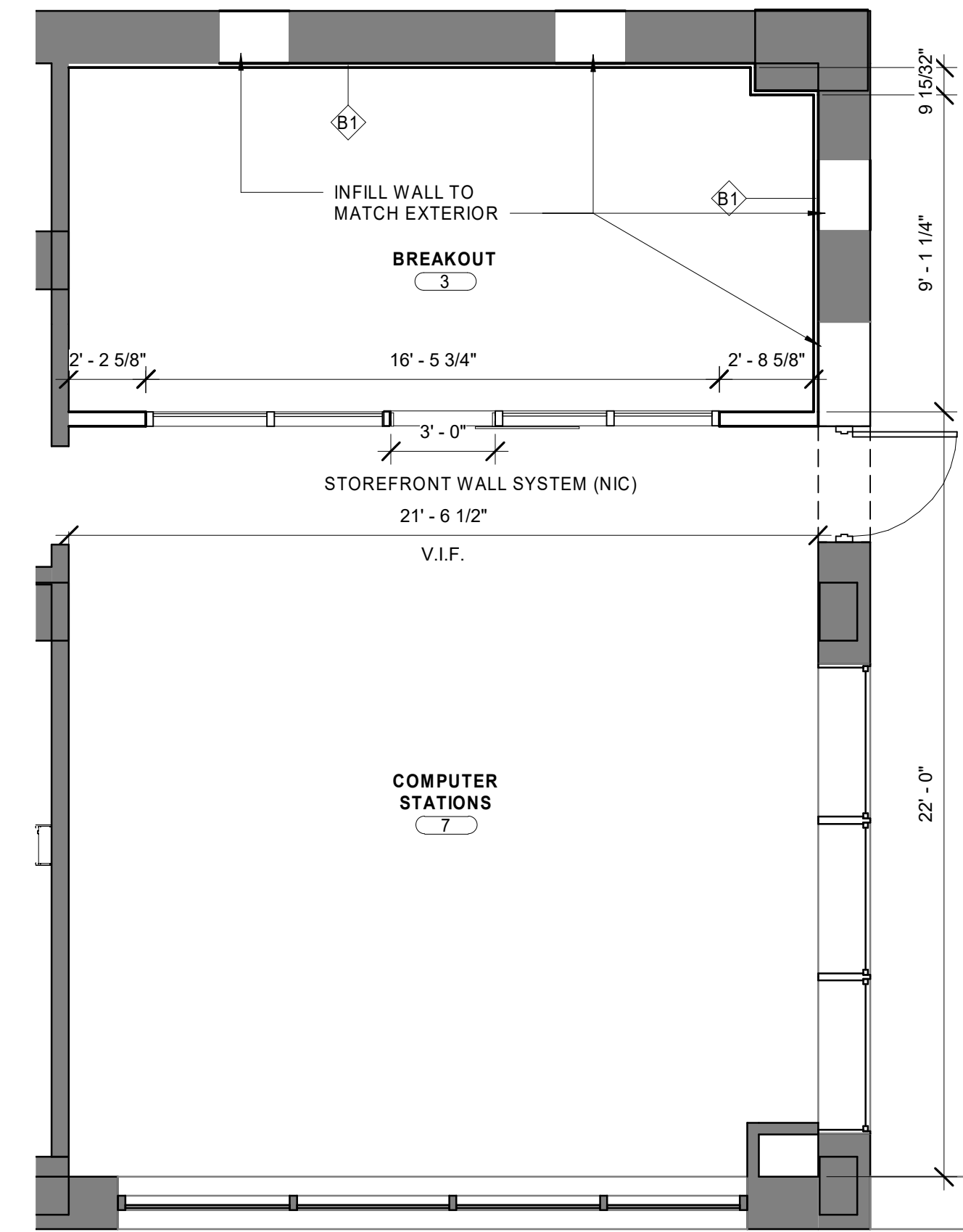
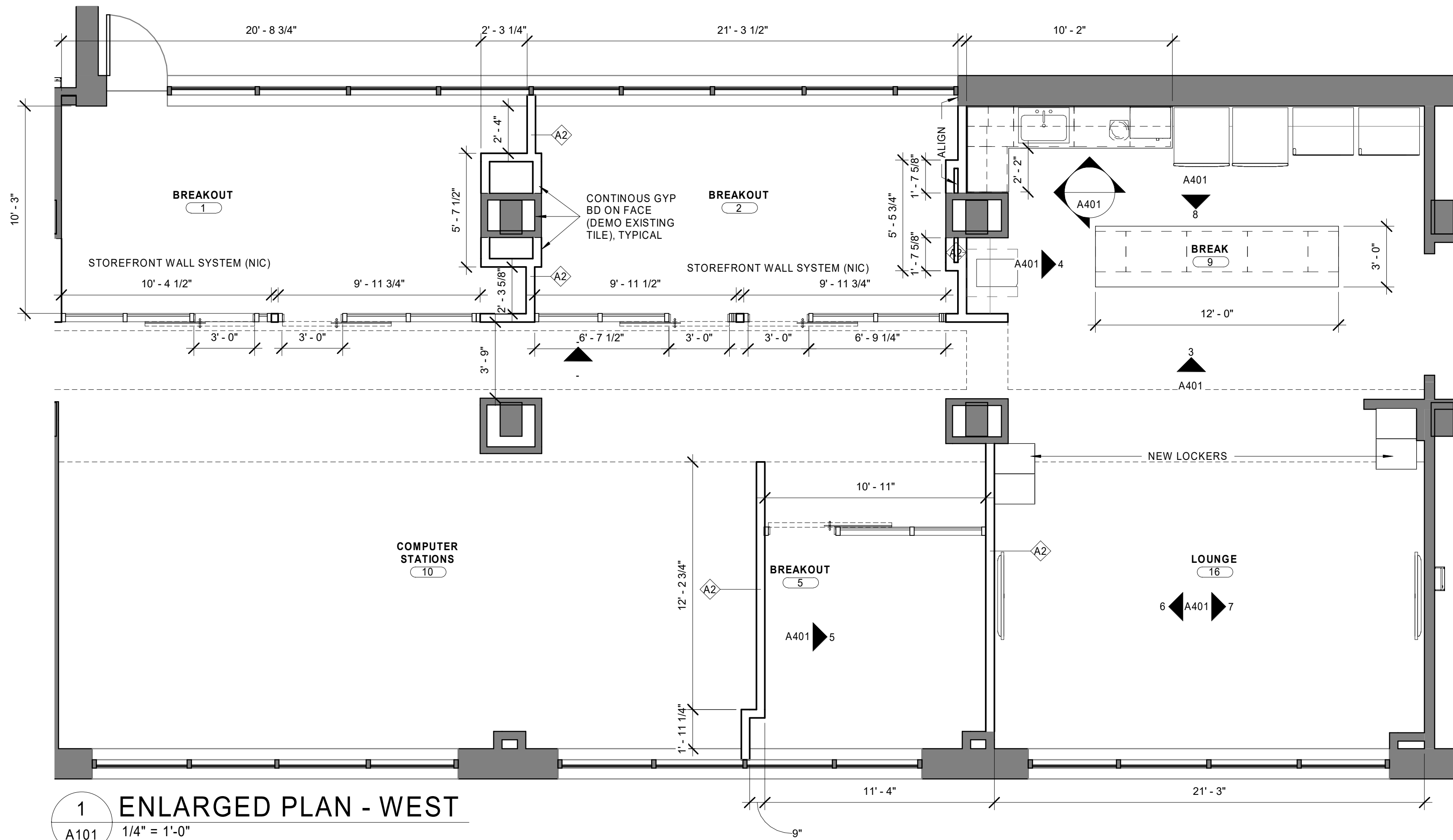
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CHECKED BY Checker

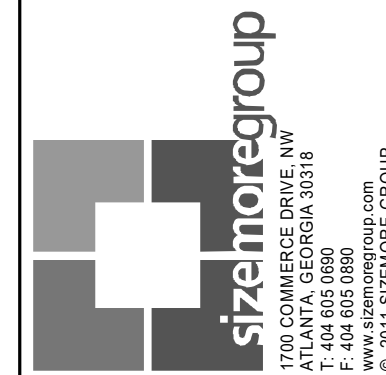
A100

SCALE 1/8" = 1'-0"

NOT FOR CONSTRUCTION



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RESOURCE ROOM
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ENLARGED PLANS

PROJECT # 18200GRARRC
DATE 12/11/19
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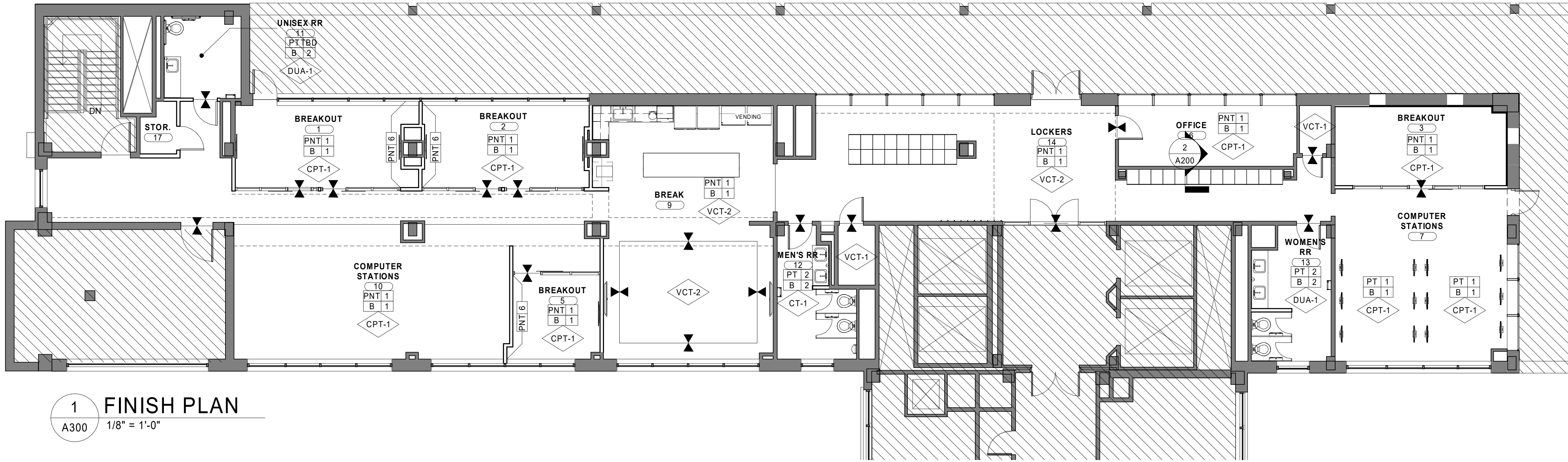
A101

SCALE 1/4" = 1'-0"

NOT FOR CONSTRUCTION



NOT FOR CONSTRUCTION



LEGEND	
	AREA NOT IN SCOPE OF WORK NOT IN CONTRACT (N.I.C.)
	VCT-1
	VCT-2
	SV-1
	CT-1
	CPT-

FINISH PLAN LEGEND			DATE	DESCRIPTION	No.
SYMBOL	DESCRIPTION	STYLE / COLOR			
#	PLAN NOTE				
	INDICATES CHANGE IN FLOORING MATERIAL				
FLOOR					
VCT-1	ARMSTRONG 12X12 VCT TILE	STYLE: STANDARD EXCELON IMPERIAL TEXTURE COLOR: 51858 - SANDRIFT WHITE			
VCT-2	ARMSTRONG 12X12 VCT PLANK	STYLE: COLOR: 59237 TRACERY			
SV-1	ARMSTRONG SHEET FLOORING	STYLE: REJUVENATIONS TIMBERLINE W/D10 COLOR: 37505 MAHOGANY CARDINAL			
CT-1	INTERCERAMIC 12X24 CERAMIC TILE	STYLE: BURANO COLOR: BIANCO VELETTA			
CPT-1	SHAW 9" X 36" ECOWORX TILE	STYLE: ENDLESS TILE COLOR: 05557 WILD			
DUA-1	DURAFLEX URETHANE ACCELCERA HC	STYLE: ENDLESS TILE COLOR: SHALE			
BASE					
B 1	JOHNSONITE 4" VINYL BASE	COLOR/FINISH: THUNDER			
B 2	JOHNSONITE 4" RUBBER WALL-BASE	COLOR/FINISH: 80 FAWN			
B 3	INTERCERAMIC 6"x12" TILE WALL-BASE	COLOR/FINISH: PERLA			
WALL PAINT					
PNT 1	SHERWIN WILLIAMS	COLOR: SW 7009 PEARLY WHITE			
PNT 2	SHERWIN WILLIAMS	COLOR: SW 7010 WHITE DUCK			
PNT 3	SHERWIN WILLIAMS	COLOR: TBD			
PNT 4	SHERWIN WILLIAMS	COLOR: TBD			
PNT 5	SHERWIN WILLIAMS	COLOR: TBD			
PNT 6	???????????????	DRY ERASE PAINT			
WALL TILE					
WT 1	CERAMIC TECHNICS LTD 12X24 CERAMIC TILE	STYLE: STUDIO MARMI TEXTILES COLOR: CREAM			
SOLID SURFACE					
SS 1	ALT STARON	COLOR: ARCTIC GRANITE			
SS 2	LG HIMACS	COLOR: APEN LILY			
		COLOR: ARCTIC GRANITE			
PLASTIC LAMINATE					
PLM 1	WILSONART	COLOR: MORELIA MANGO			
PLM 2	NEVAMAR	COLOR: GRAPHITE			
DOOR PAINT					
PT 4	SHERWIN WILLIAMS	COLOR: SW 7036 ACCESSIBLE BEIGE			
PT 5	VE INDUSTRIES	COLOR: WHITE BIRCH			
PT 6	VE INDUSTRIES	COLOR: CHOCOLATE CH18			
GENERAL FINISH PLAN NOTES					
1. ALL METAL DOOR FRAMES TO BE PAINTED TO MATCH WALL, GLOSS, U.N.O.					
2. ALL GYP. BOARD CEILINGS TO BE PAINTED PNT-1, FLAT FINISH, U.N.O.					
3. ALL EXPOSED PAINTED CEILINGS (D1) TO BE PAINTED PNT-5, FLAT FINISH, U.N.O. REFER TO SHEET A200.					
4. WALL PAINT TO BE SEMI-GLOSS FINISH, U.N.O.					
5. EXTEND NOTED FLOORING MATERIAL INTO CLOSETS, U.N.O.					
6. WHERE SEAMS IN FLOORING MATERIALS OCCUR AT DOORS, THEY SHALL BE PARALLEL WITH THE DOOR IN THE CLOSED POSITION AND CENTERED ON THE THICKNESS OF THE DOOR, U.N.O.					
7. FURNISH AND INSTALL CONTINUOUS ROLL RUBBER BASE. WRAP BASE AT CASIED OPENINGS AND STUB WALLS.					
8. CARPET TO RESILIENT FLOORING TRANSITIONS AT DOORWAYS ARE TO OCCUR DIRECTLY UNDER CENTERLINE OF DOOR.					
9. PROVIDE ADA COMPLIANT RUBBER TRANSITION TO BE INSTALLED WHERE CARPET MEET RESILIENT FLOORING.					
10. ALL CABINET DOORS AND DRAWERS TO HAVE LOCKS.					
11. REFER TO SHEET A100.1 FOR ADD ALTERNATES.					
12. METAL DOORS TO BE PAINTED TO MATCH WALL PAINT. REFER TO DOOR SCHEDULE.					
13. SPECIFY RUBBER NOSING AT STEP OF JUDGE'S BENCH.					
NOT FOR CONSTRUCTION					

GRADY HOSPITAL
16TH FLOOR RESIDENT'S
RESOURCE ROOM
80 JESSE HILL JR. DR., ATLANTA, GA, 30303

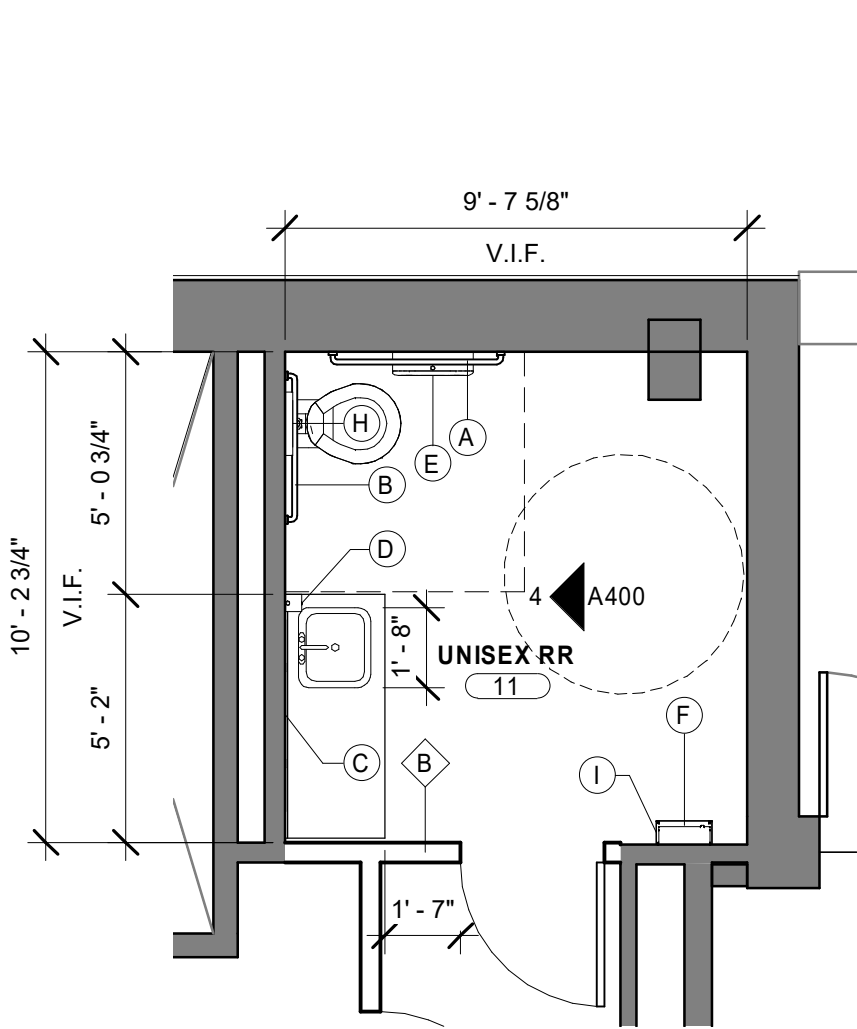


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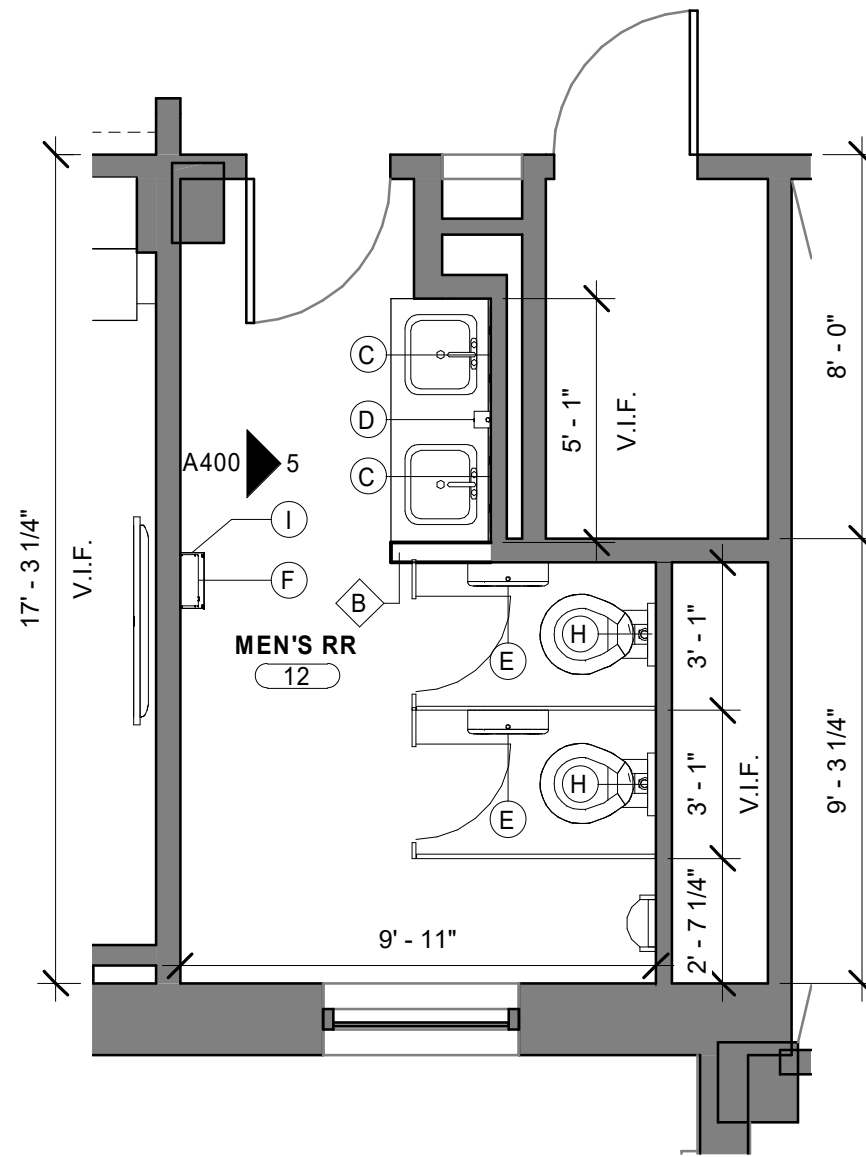
FINISH PLAN
& PATTERN
PLAN

PROJECT # 18200GRARRC
DATE 12/11/19
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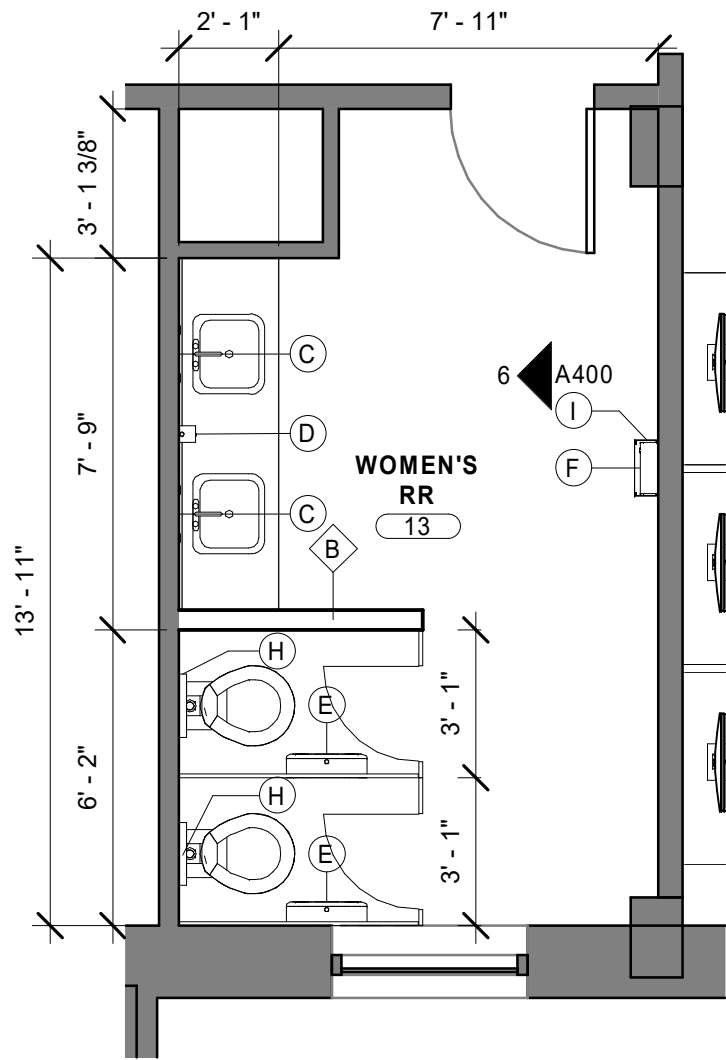
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SCALE 1/8" = 1'-0"



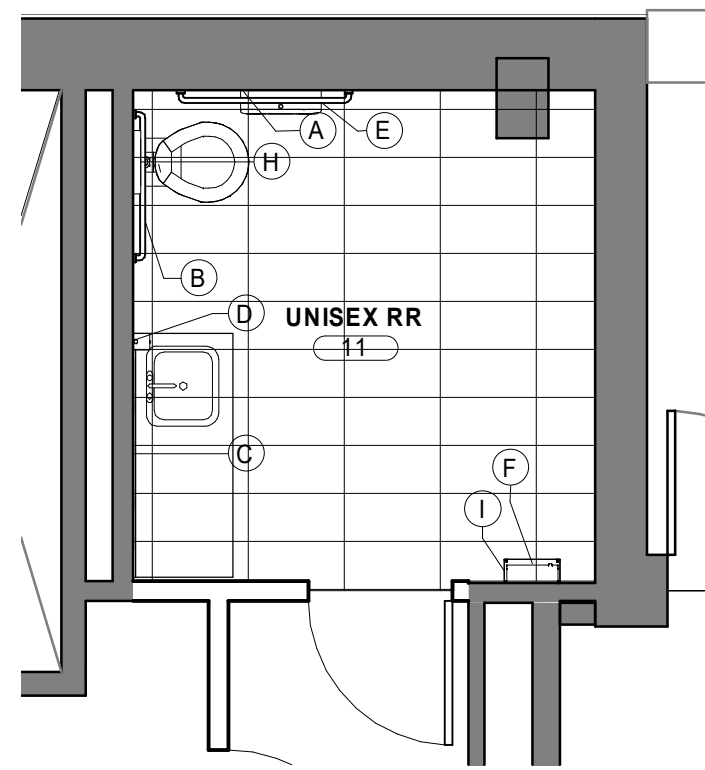
1 ENLARGED PLAN - ADA RR
A400 1/4" = 1'-0"



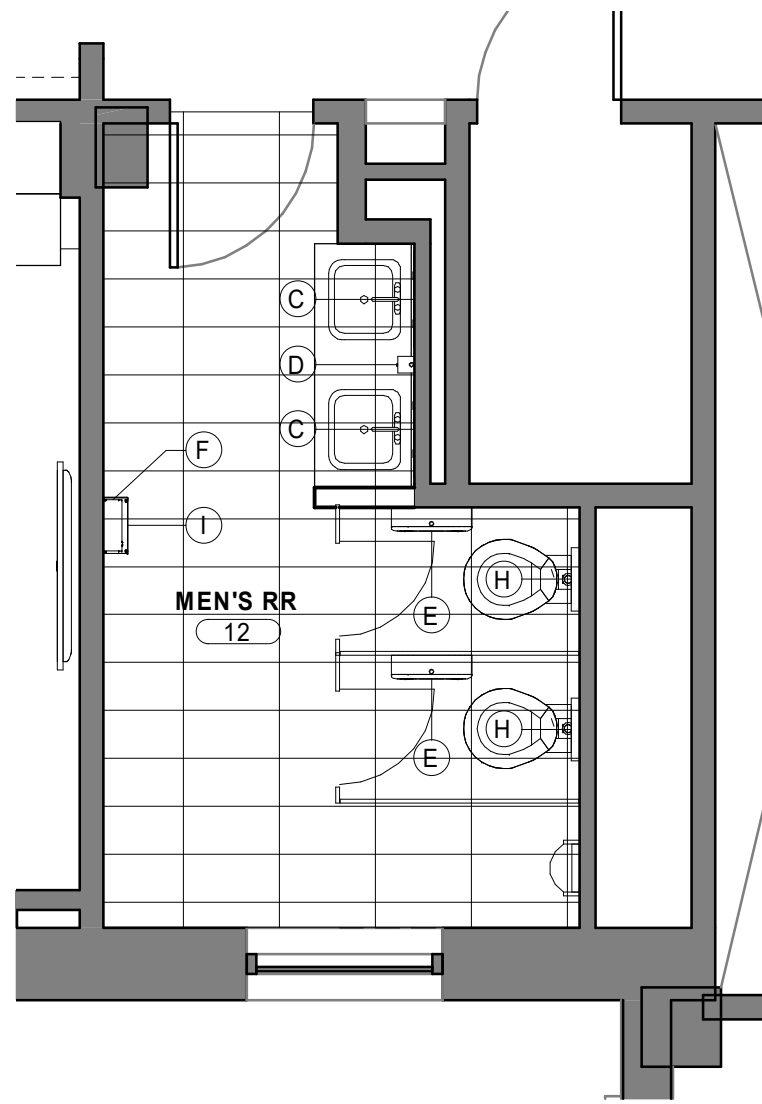
2 ENLARGED PLAN - MEN'S RR
A400 1/4" = 1'-0"



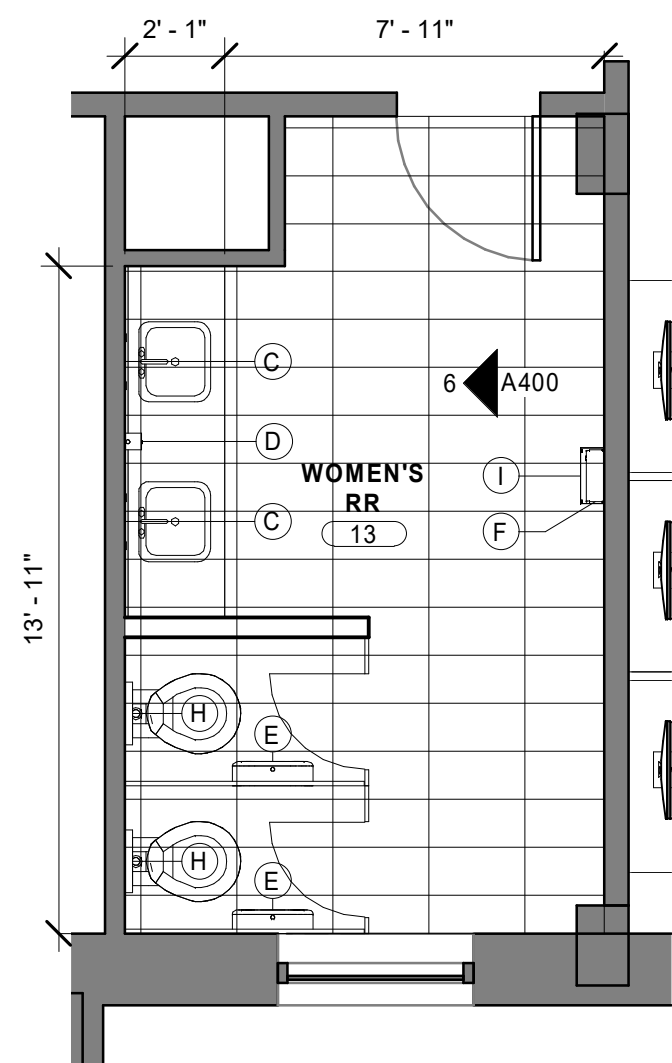
3 ENLARGED PLAN - WOMEN'S RR
A400 1/4" = 1'-0"



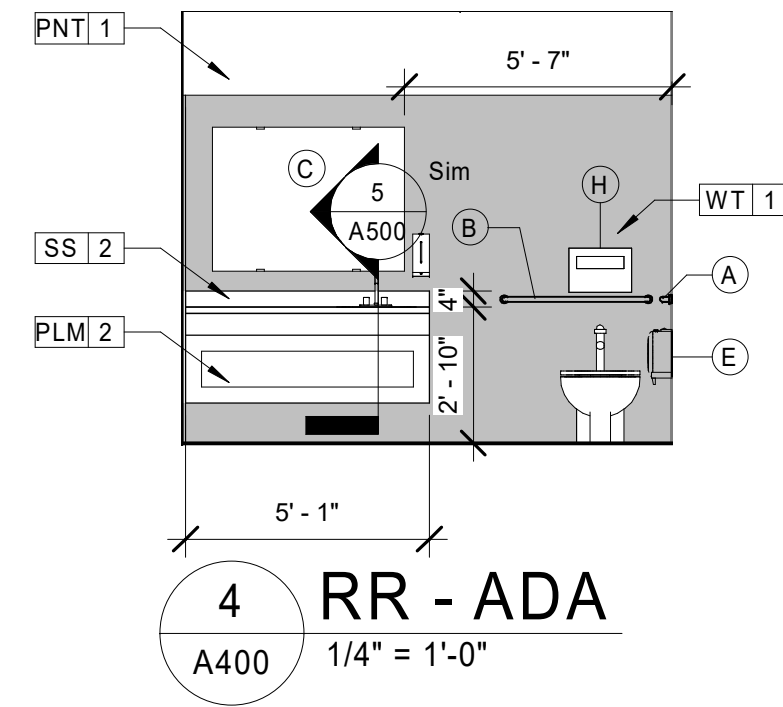
8 PATTERN PLAN - ADA RR
A400 1/4" = 1'-0"



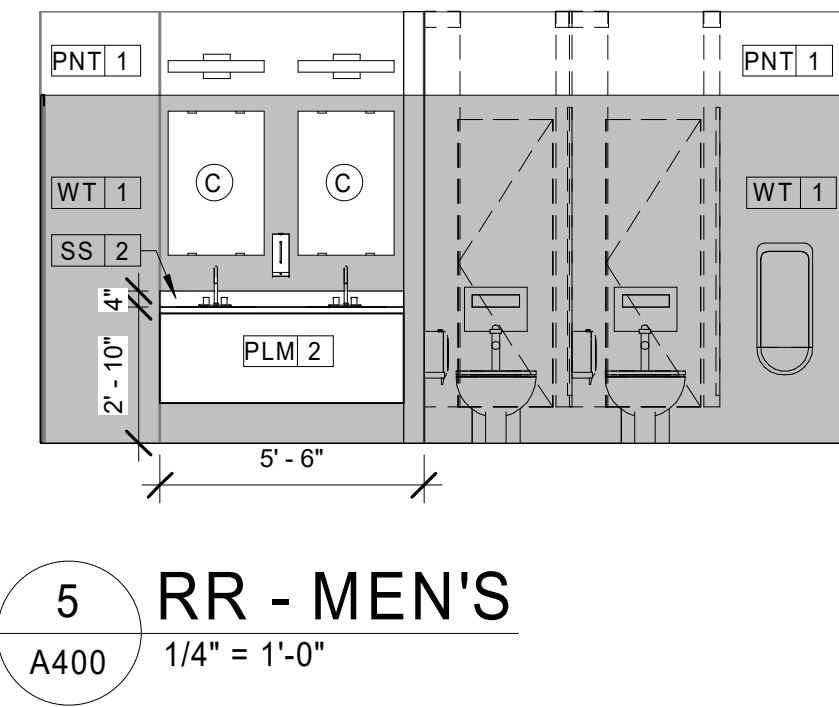
9 PATTERN PLAN - MEN'S RR
A400 1/4" = 1'-0"



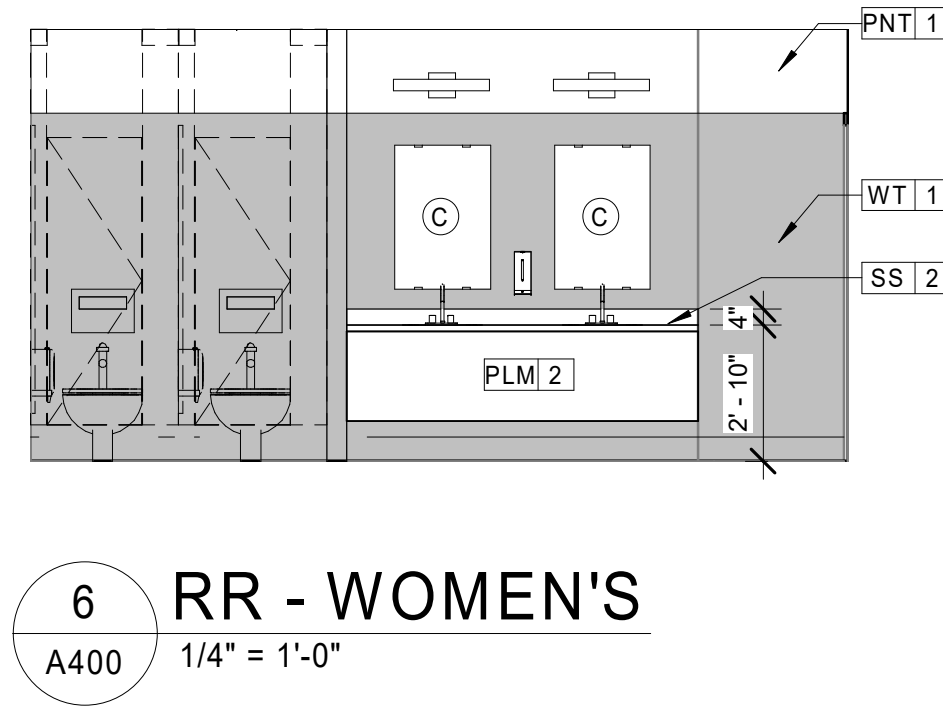
10 PATTERN PLAN - WOMEN'S RR
A400 1/4" = 1'-0"



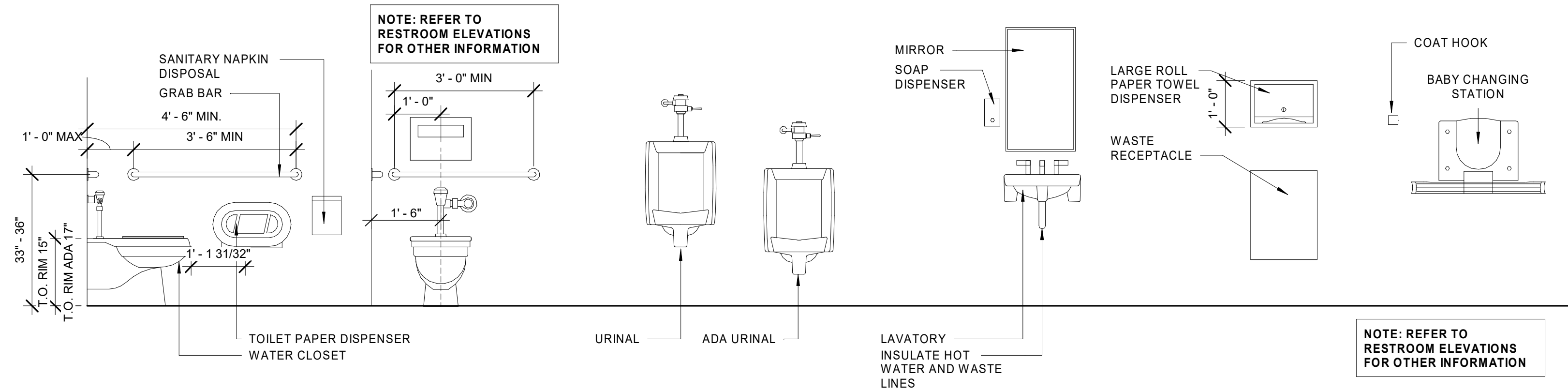
4 RR - ADA
A400 1/4" = 1'-0"



5 RR - MEN'S
A400 1/4" = 1'-0"



6 RR - WOMEN'S
A400 1/4" = 1'-0"



TOILET ACCESSORIES LEGEND (SEE SHEET A300 FOR FINISH LEGEND)					
SYMBOL	DESCRIPTION	MANUFACTURER	ITEM #	FINISH	REMARKS
(A)	36" GRAB BAR	TBD	TBD		
(B)	42" GRAB BAR	TBD	TBD		
(C)	FRAMELESS MIRROR	TBD	TBD		
(D)	WALL MOUNTED SOAP DISPENSER	STEALTH ALPINE	9981-0001		
(E)	TOILET PAPER DISPENSER	SIDE-BY-SIDE	56797A	TRANSLUCENT WHITE PLASTIC	
(F)	SURFACE MOUNTED PAPER TOWEL DISPENSER	TORK ELEVATION MATIC	5510202		
(G)	HAND DRYER	DYSON AIRBLADE	HU02	WHITE	
(H)	SURFACE MOUNTED TOILET COVER DISPENSER	TOUGH GUY	2VEX8	PLASTIC	
(I)	RECESSED WASTE RECEPTACLE	VENTED SLIM JIM	FG354060		23 GAL
(J)	SURFACE MOUNT SANITARY NAPKIN DISPOSAL	TBD	TBD		
(K)	RECESSED BABY CHANGING STATION	TBD	TBD		
(M)	MOP HOLDER	TBD	TBD		
(N)	COAT HOOK - PROVIDE AT SHOWER AREAS	TBD	2072	NICKEL	
(O)	TOILET PARTITIONS	TBD	TBD		
(P)	SOAP DISPENSER	TBD	TBD		

DATE

No.

DESCRIPTION

GRADY HOSPITAL

16TH FLOOR RESIDENT'S

RESOURCE ROOM

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size

moregroup

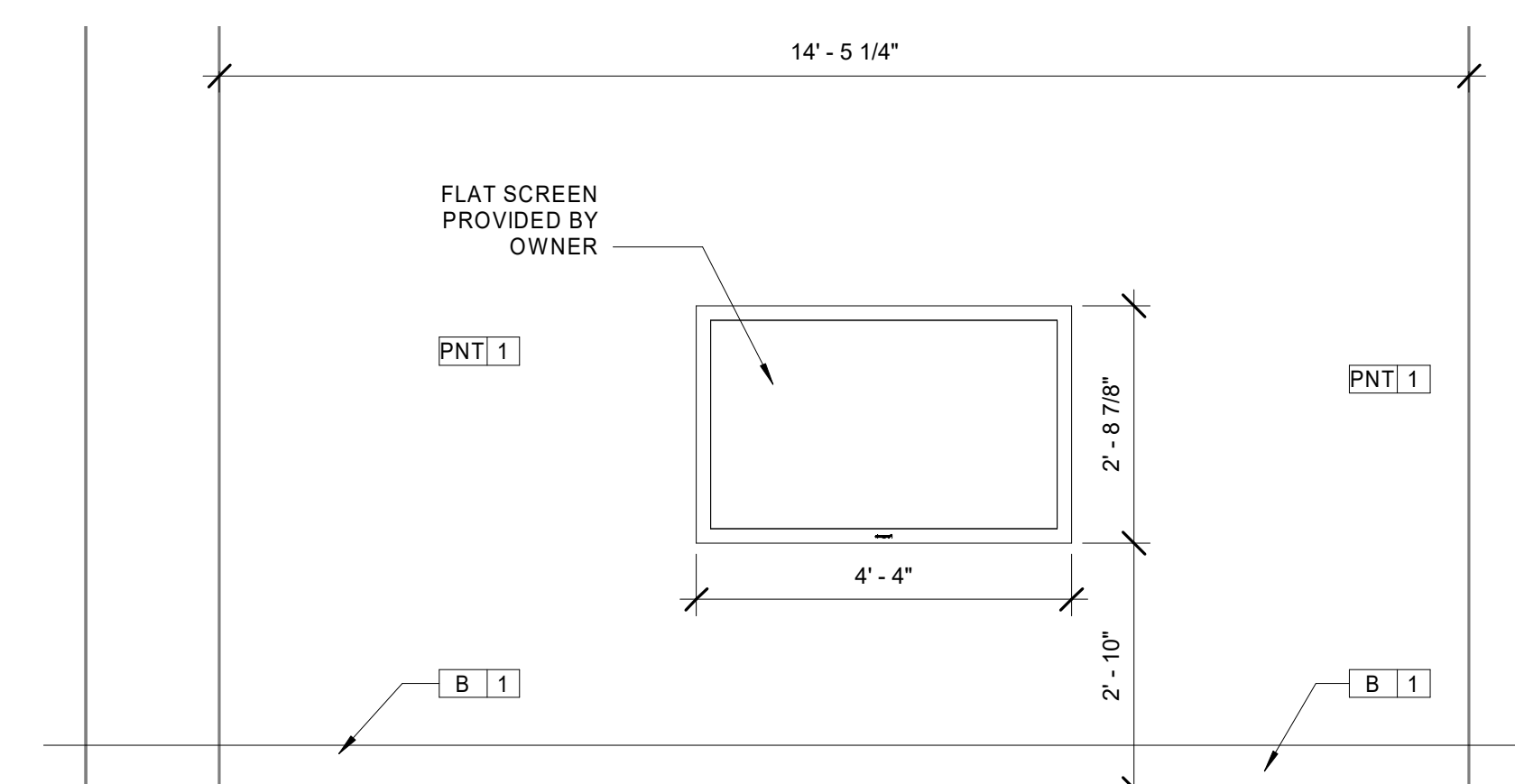
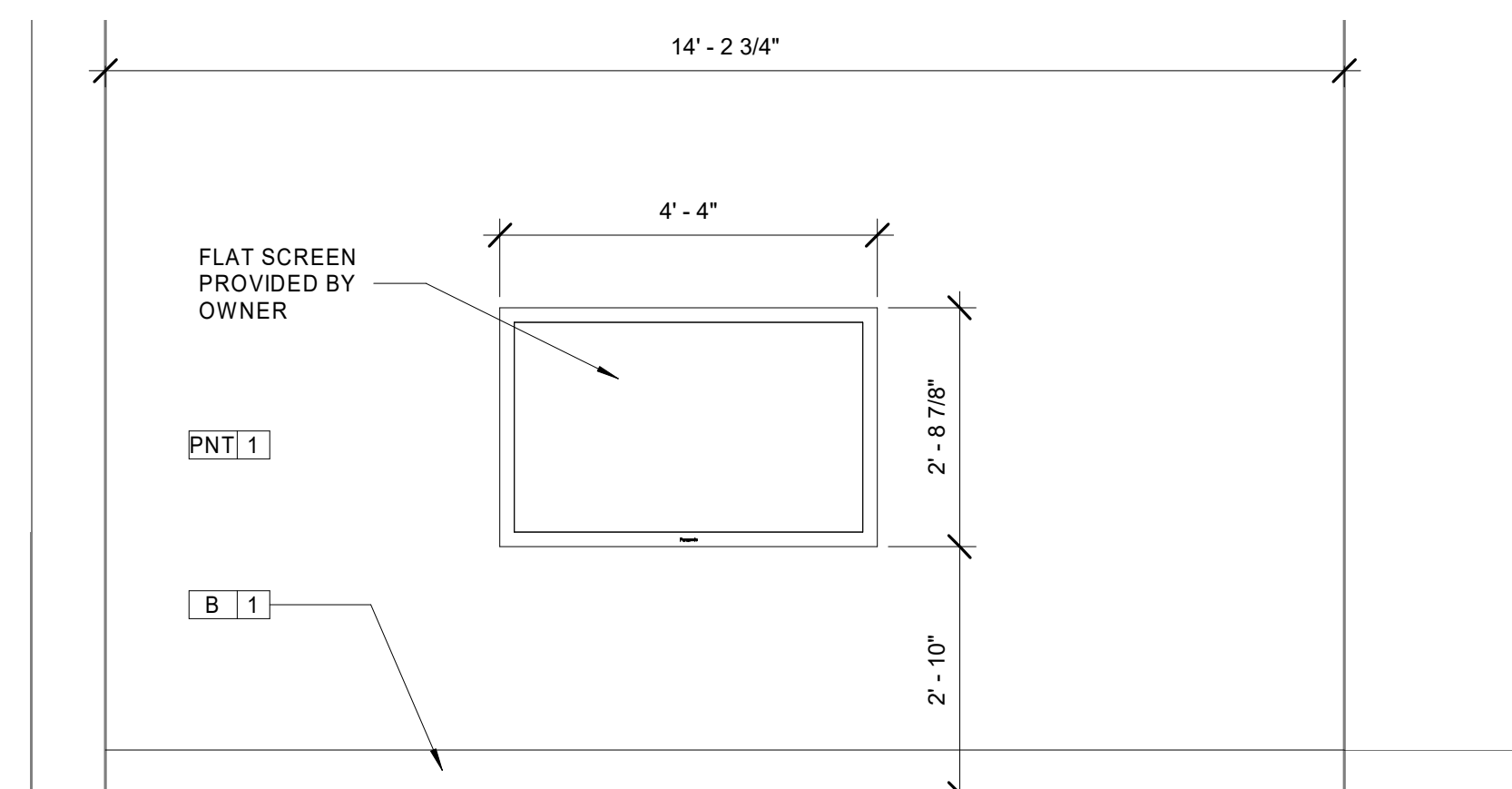
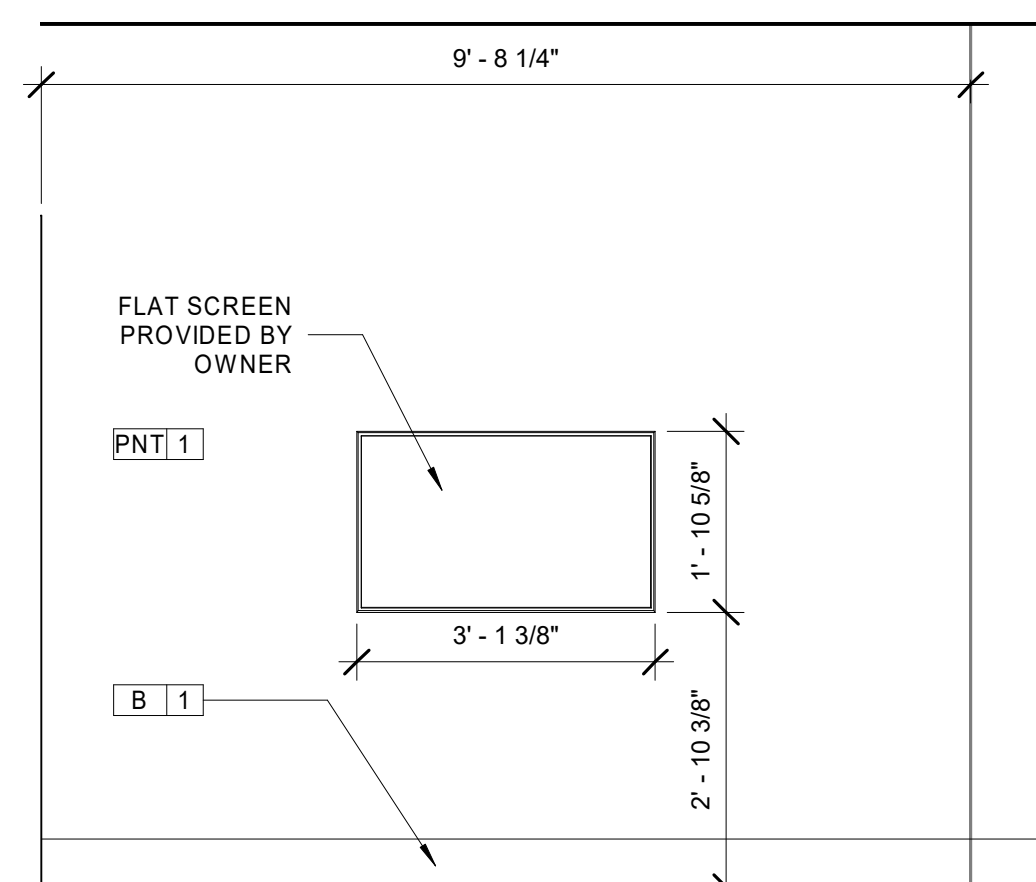
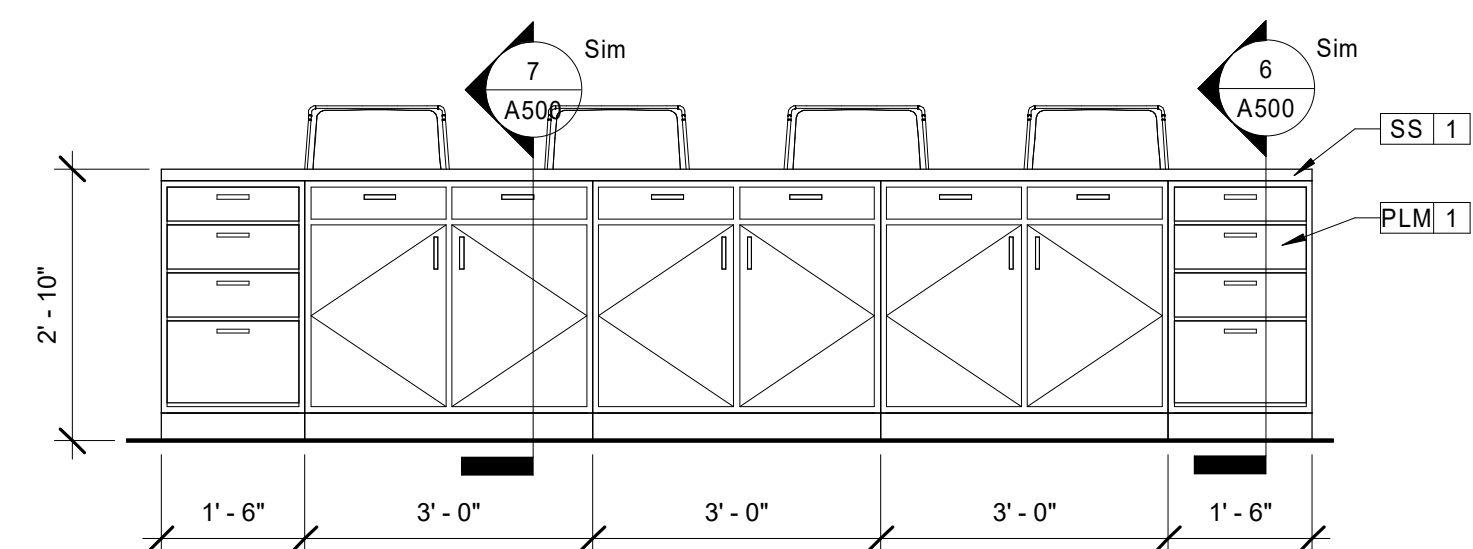
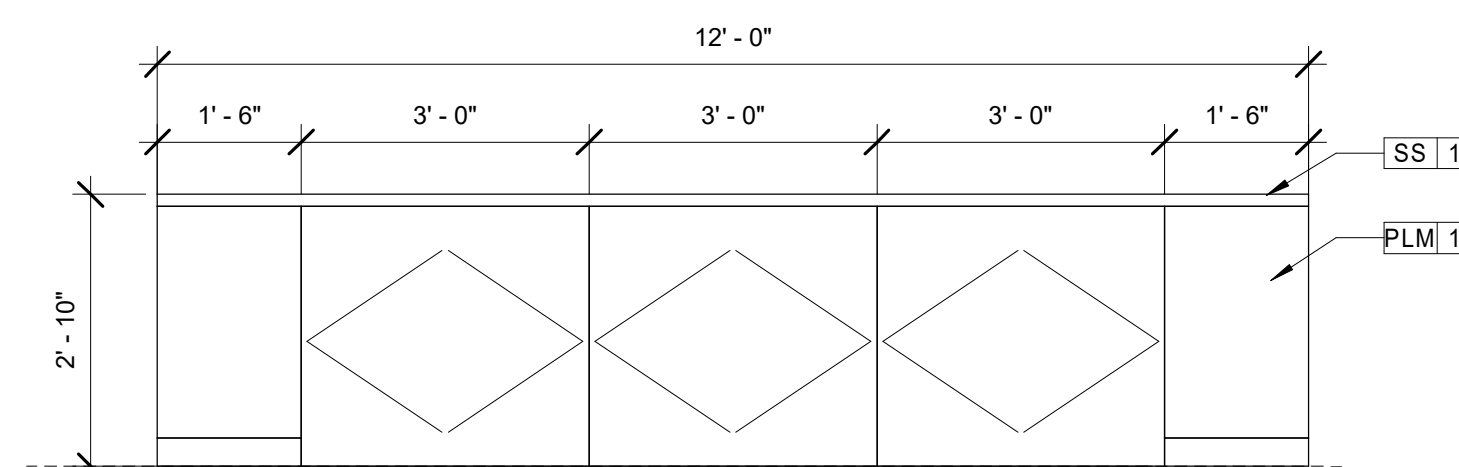
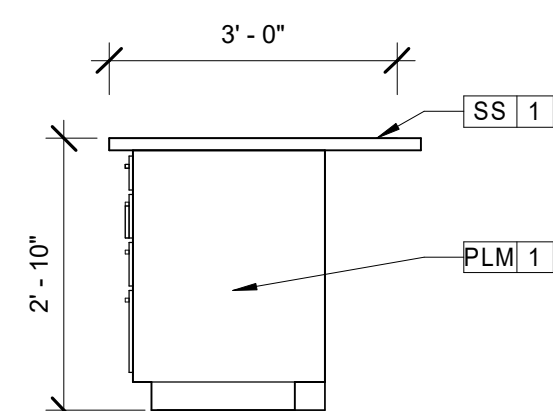
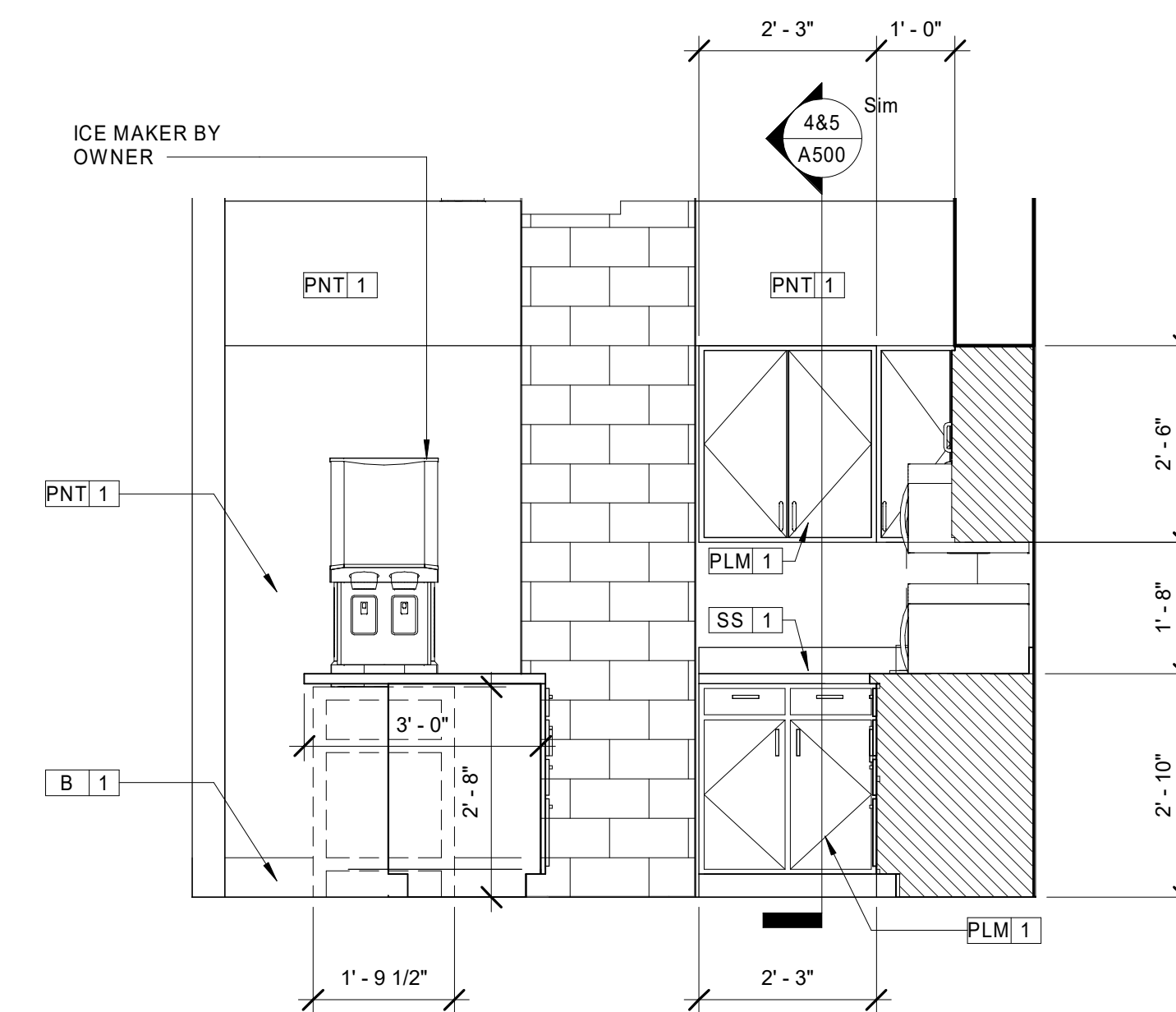
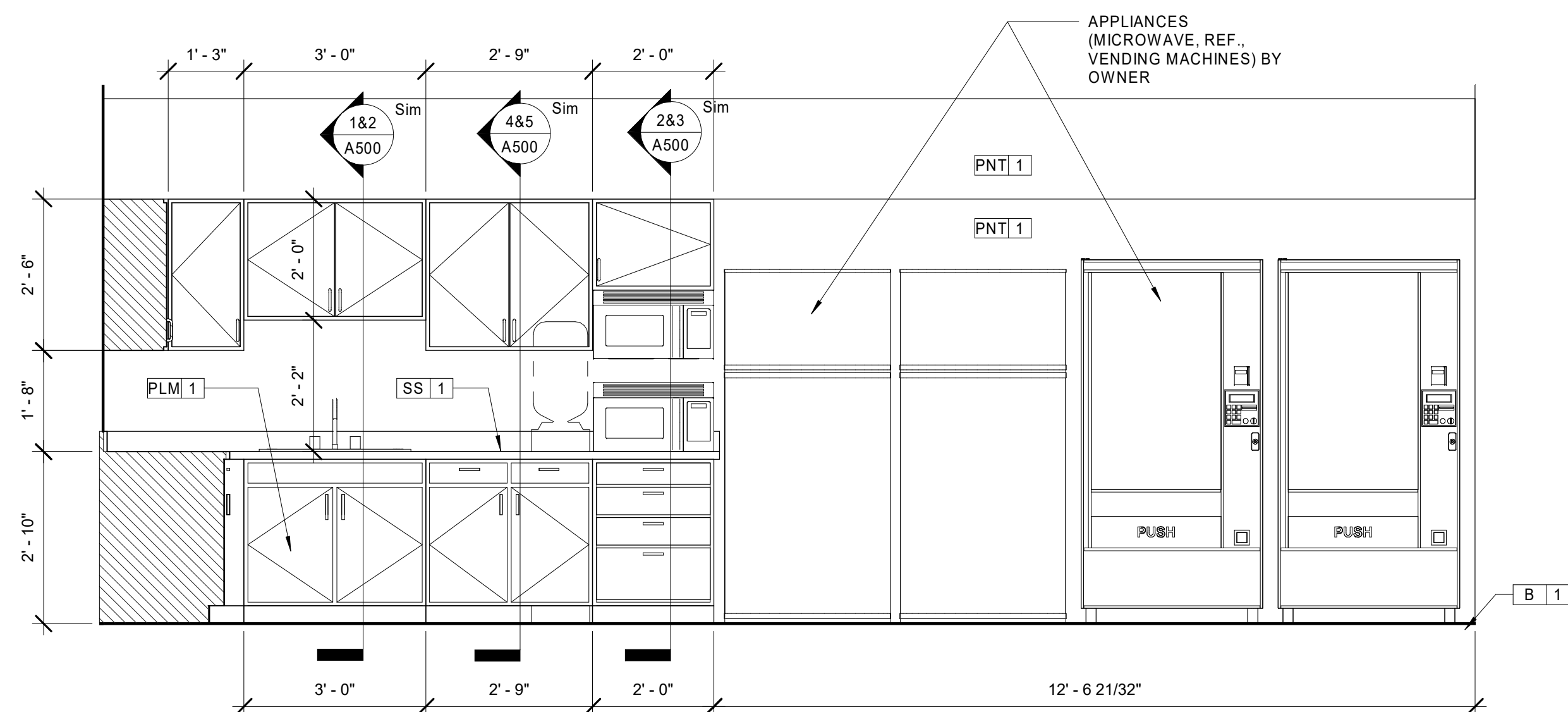
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ATLANTA, GA 30336
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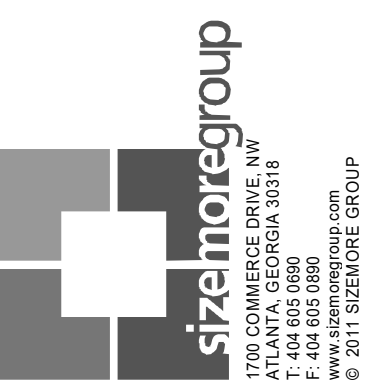
RESTROOM ELEVATIONS & ENLARGED PLANS

PROJECT # 18200GRARRC
DATE 12/11/19
DRAWN BY Author
CHECKED BY Checker

A400
SCALE As indicated

[illegible]

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16TH FLOOR RESIDENT'S
RESOURCE ROOM
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ELEVATIONS

PROJECT # 18200GRARRC

DATE 12/11/19

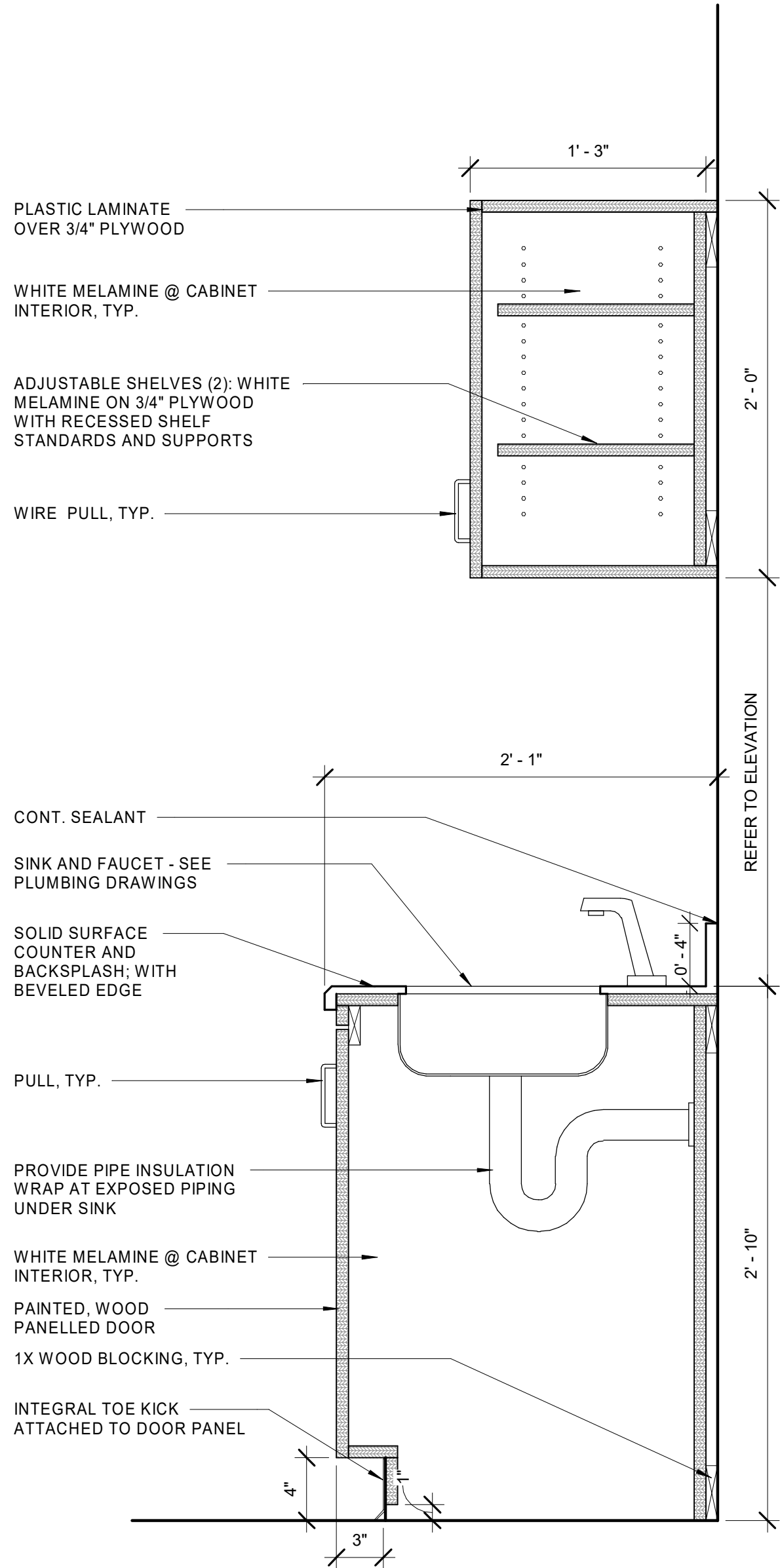
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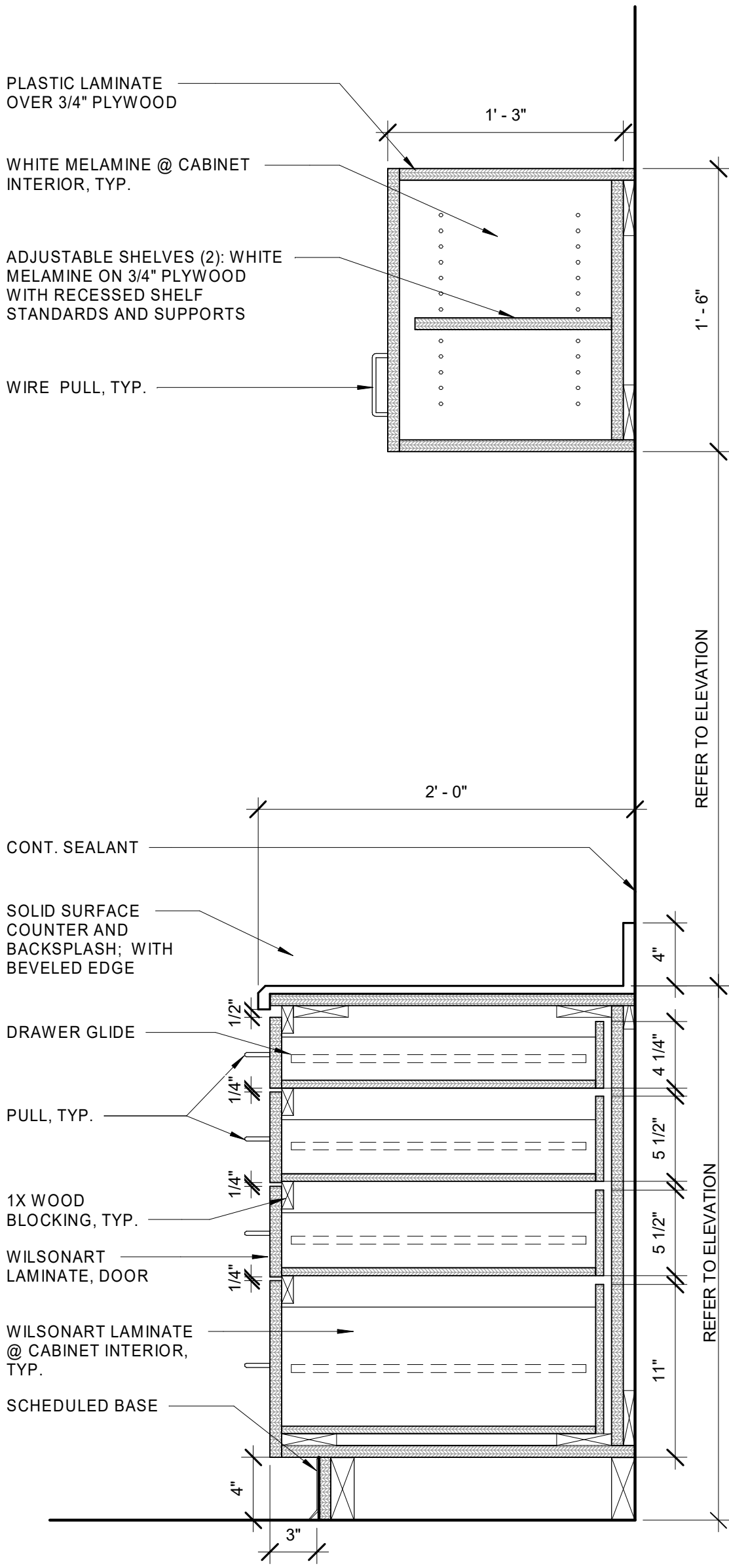
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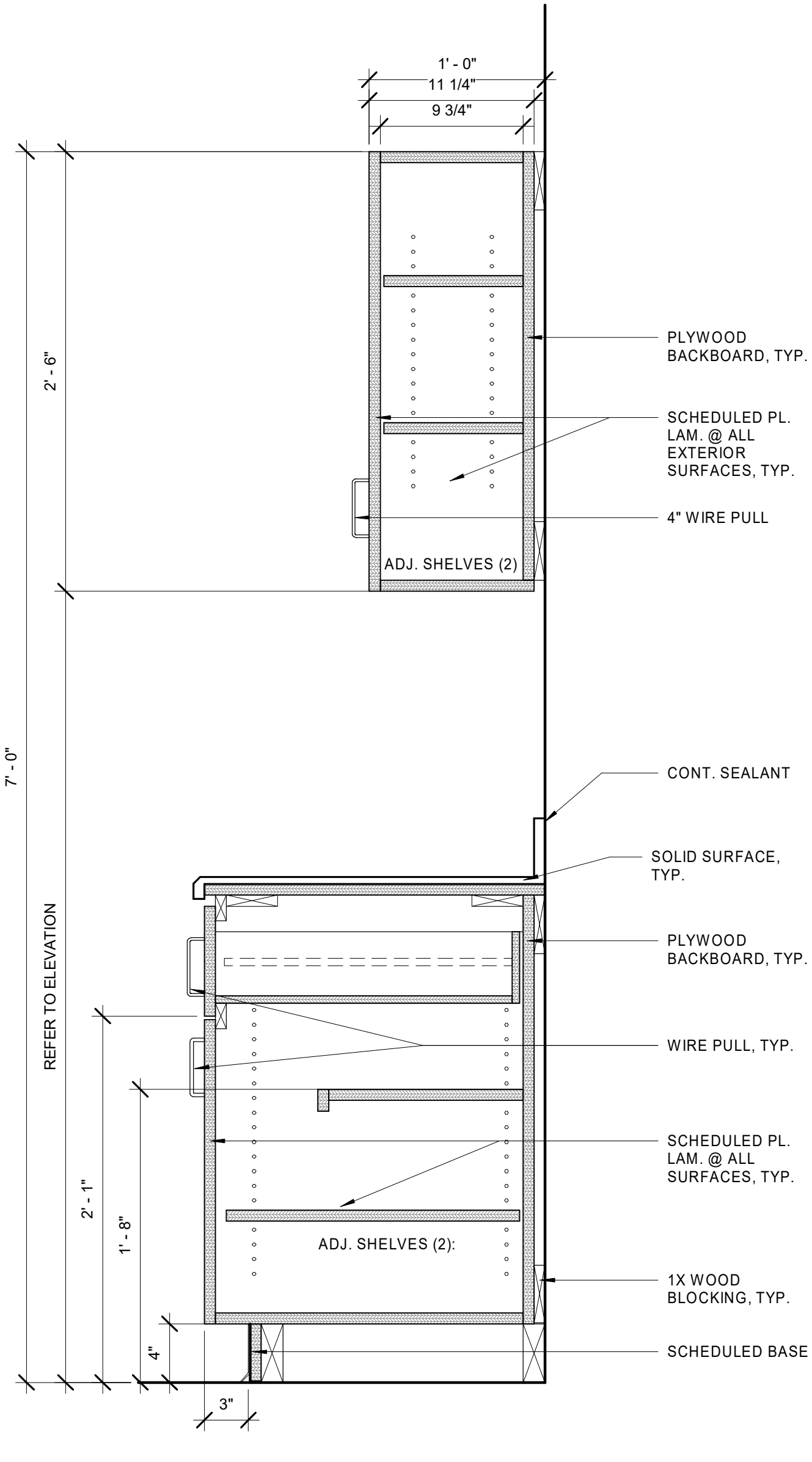
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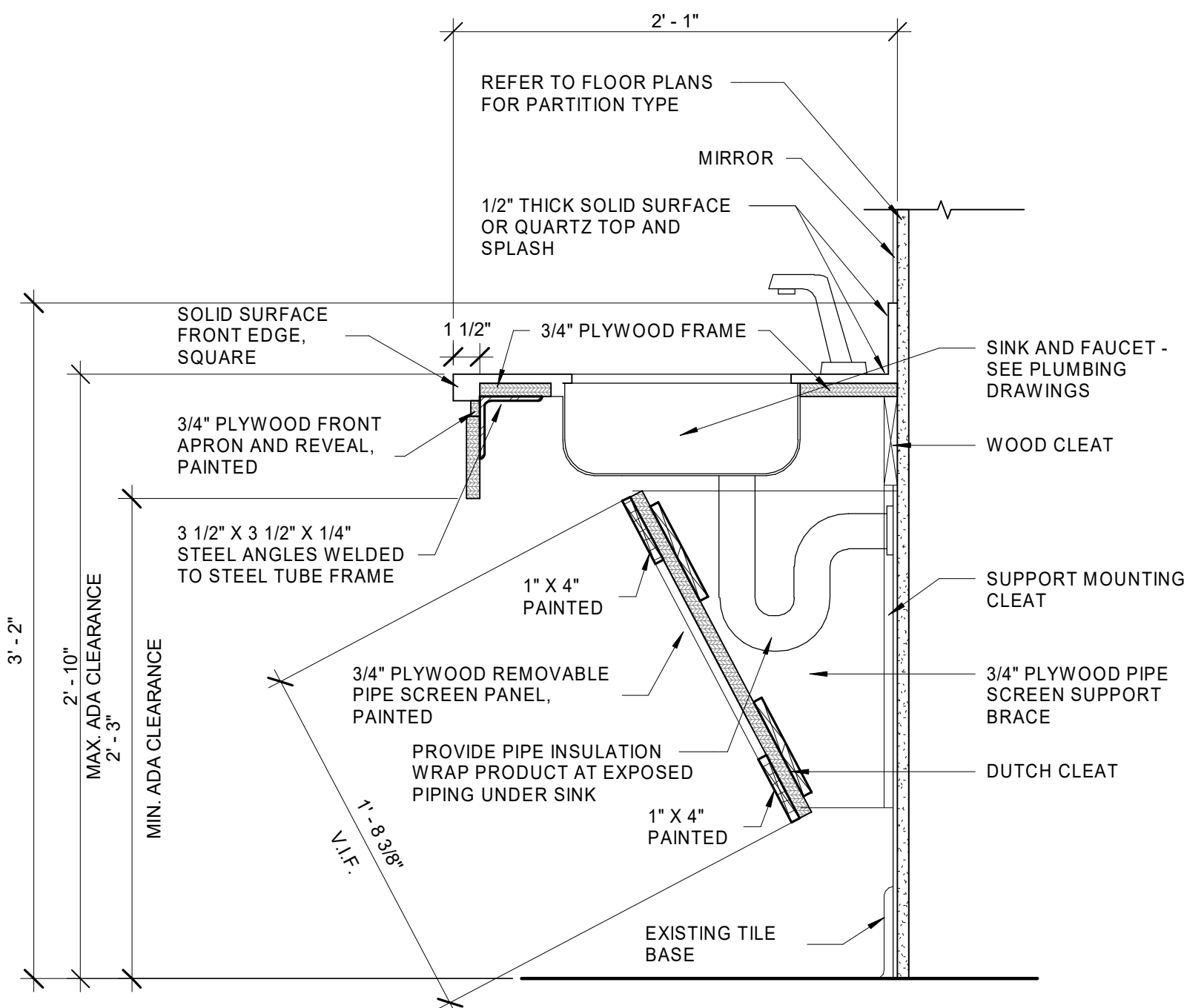
1&2 SINK CABINET & UPPER CABINET
A500 1 1/2" = 1'-0"



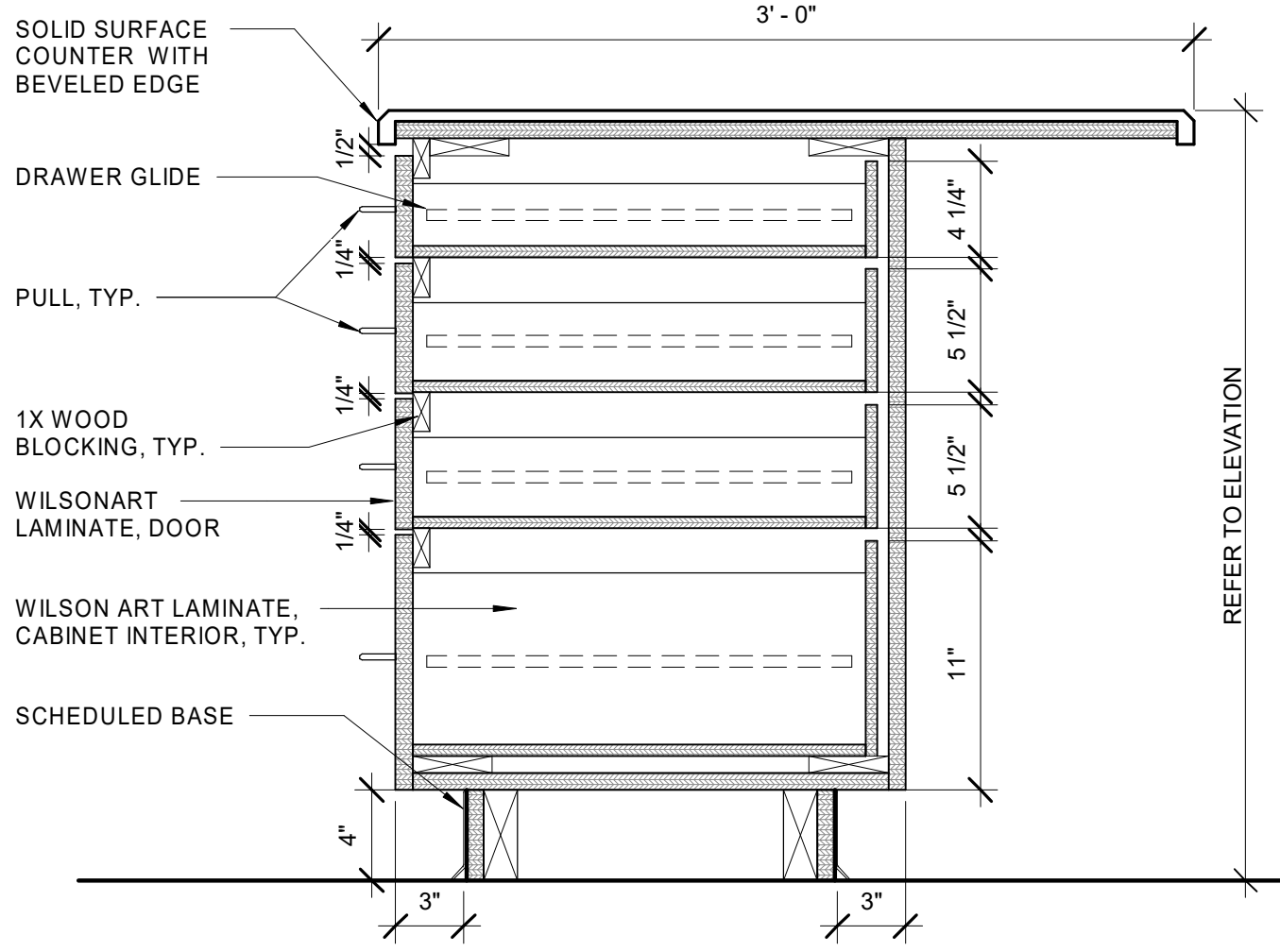
2&3 4 DRAWER BASE & UPPER CABINET
A500 1 1/2" = 1'-0"



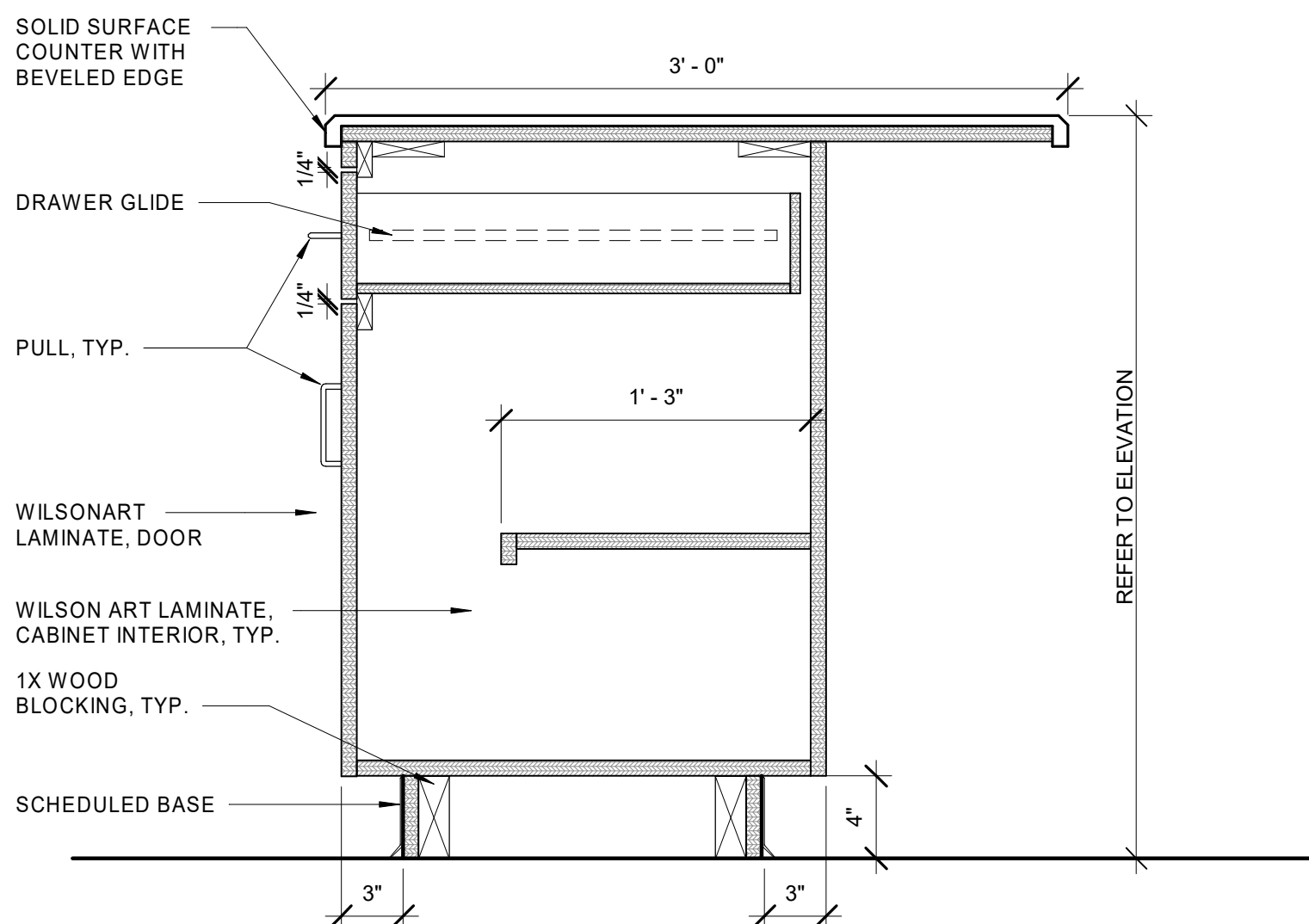
4&5 BASE AND UPPER CABINET
A500 1 1/2" = 1'-0"



5 ADA RESTROOM - SINK CABINET
A500 1 1/2" = 1'-0"

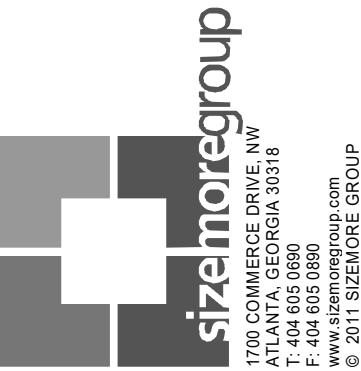


6 ISLAND - 4 DRAWER CABINET
A500 1 1/2" = 1'-0"



7 ISLAND - BASE CABINET
A500 1 1/2" = 1'-0"

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MILLWORK & WALL DETAILS

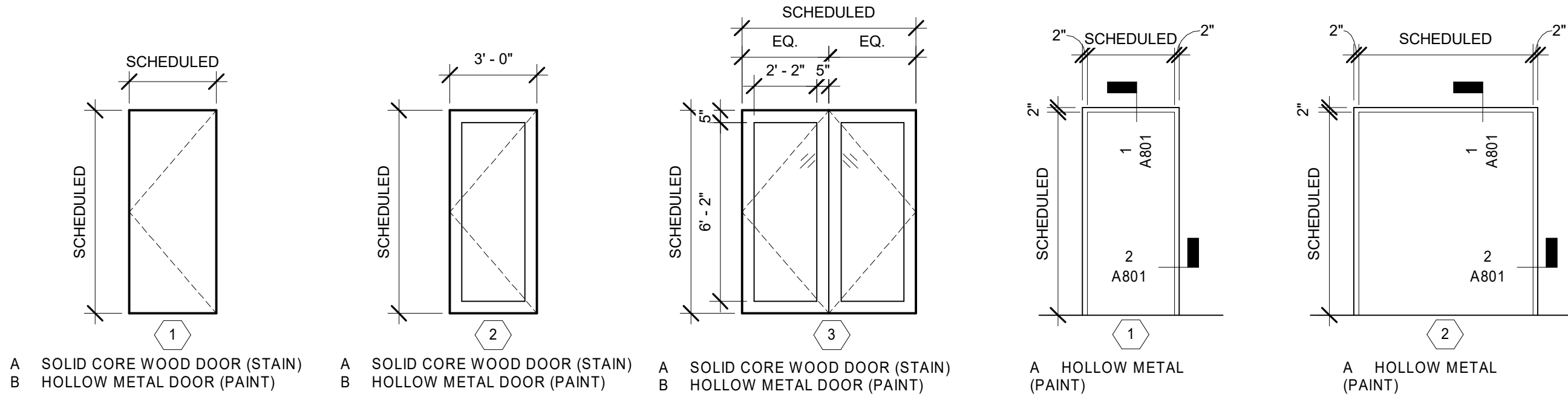
PROJECT # 18200GRARRC
DATE 12/11/19
DRAWN BY Author
CHECKED BY Checker

A500

SCALE 1 1/2" = 1'-0"

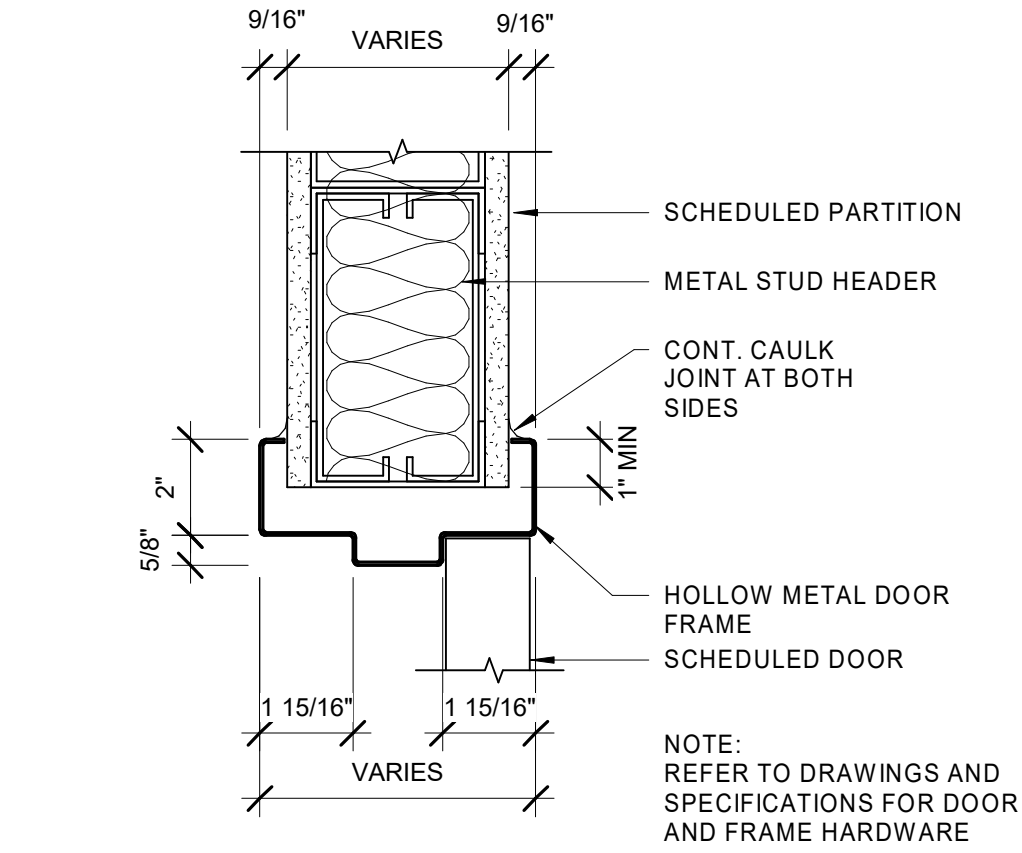
NOT FOR CONSTRUCTION

DOOR NUMBER	LOCATION	DOOR TYPE	DOOR				FRAME						Fire Rating	HARDWARE		COMMENTS
			WIDTH	HEIGHT	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	HEAD	JAMB	SILL		SET TYPE	PANIC	
11	UNISEX RESTROOM	1	3' - 0"	7' - 0"	WD	STAIN	1	HM	PT-5	4/A800	5/A800	0' - 0"	-			
17	STORAGE	1	3' - 0"	7' - 0"	WD	STAIN	1	HM	PT-5	4/A800	5/A800	0' - 0"	-			
7	COMPUTER STATIONS	2	3' - 0"	7' - 0"	WD	STAIN	1	HM	PT-5	4/A800	5/A800	0' - 0"	-			
15	ELEVATOR LOBBY	3	6' - 0"			STAIN	1	GLASS		4/A800	5/A800		1 HR			

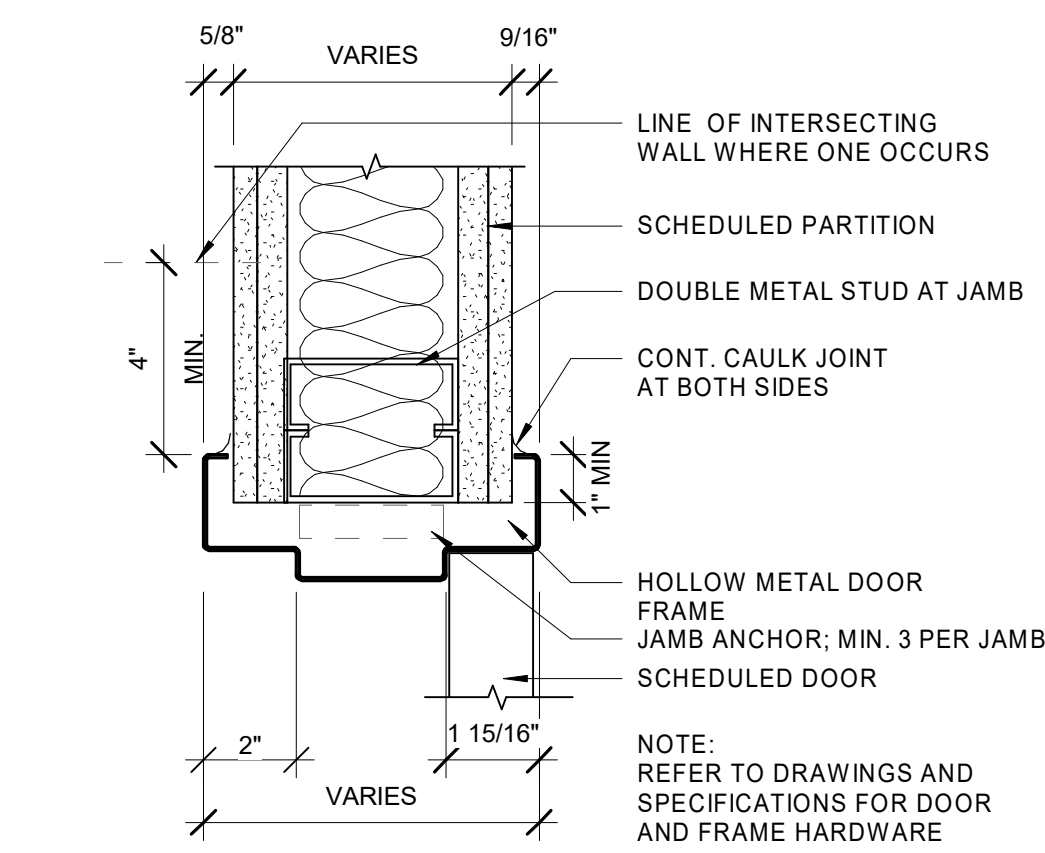


1 DOOR & FRAME TYPES
A800 1/4" = 1'-0"

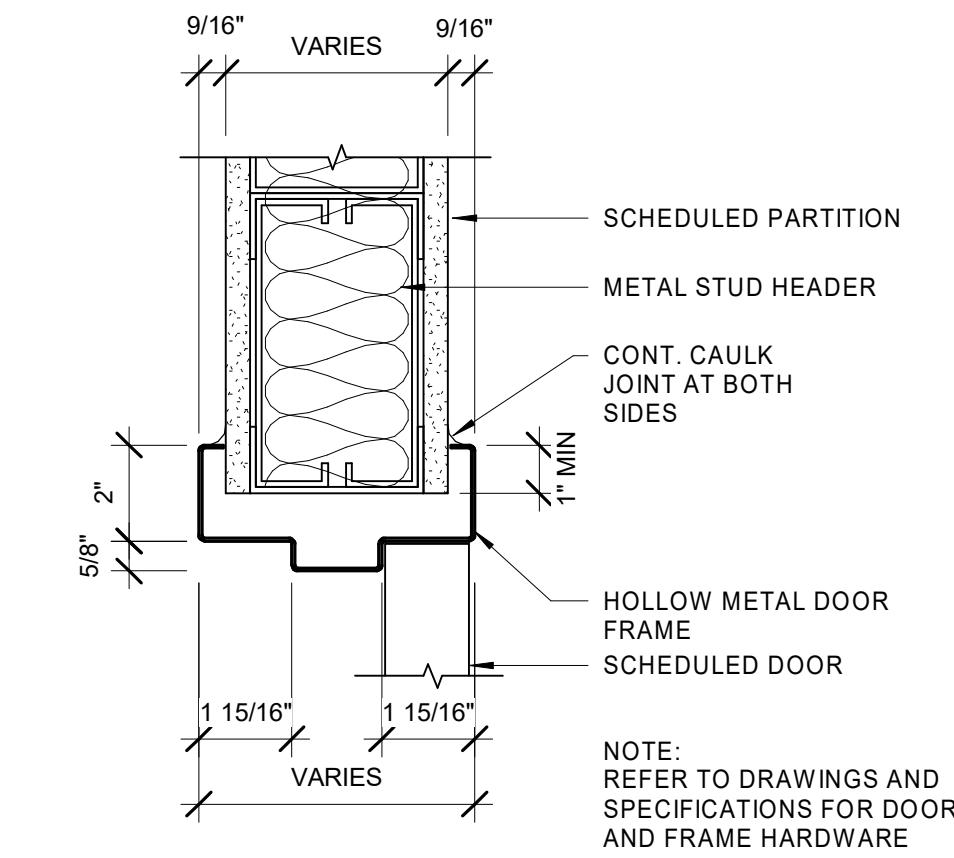
2 FRAME TYPES
A800 1/4" = 1'-0"



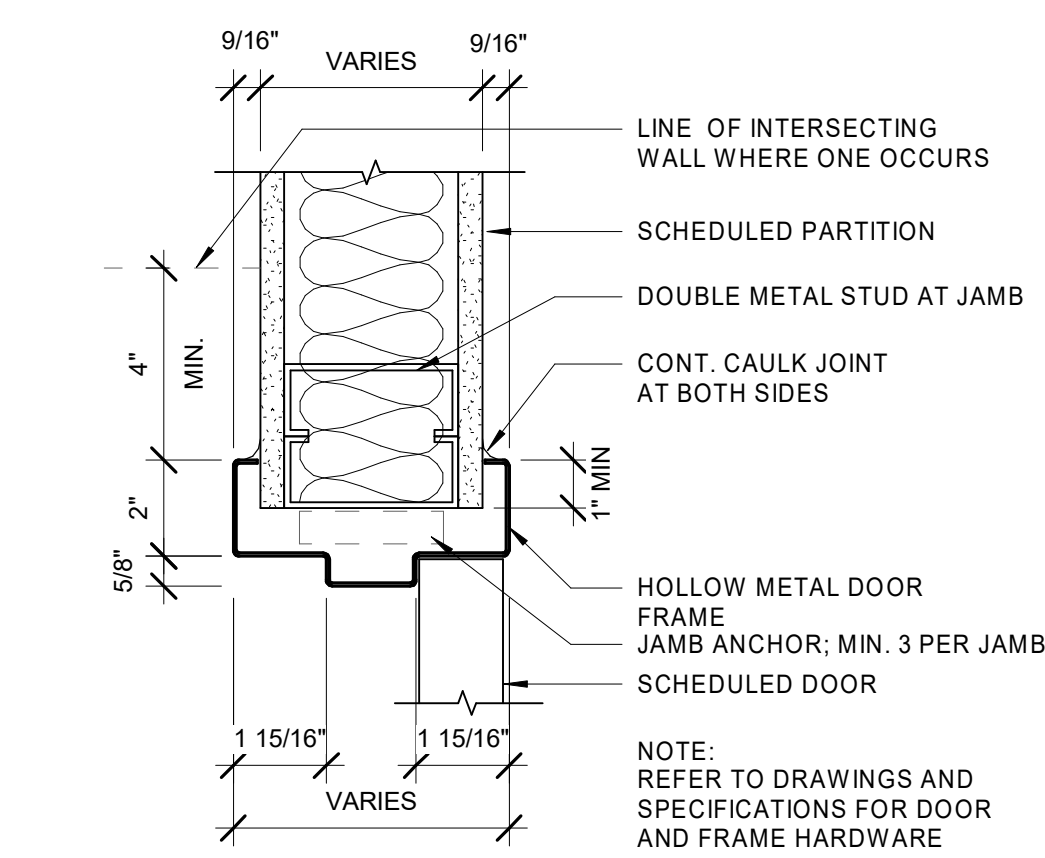
3 DOOR HEAD DETAIL
A800 3" = 1'-0"



5 DOOR JAMB DETAIL
A800 3" = 1'-0"

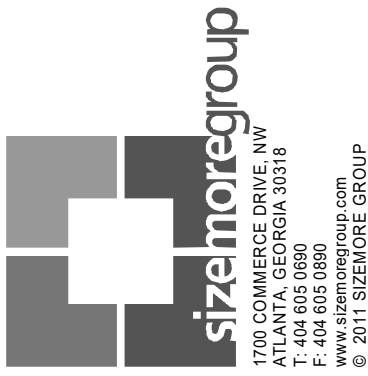


4 DOOR HEAD DETAIL
A800 3" = 1'-0"



6 DOOR JAMB DETAIL
A800 3" = 1'-0"

GRADY HOSPITAL
16TH FLOOR RESIDENT'S
RESOURCE ROOM
80 JESSE HILL JR. DR., ATLANTA, GA, 30303



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DOOR
SCHEDULE

PROJECT # 18200GRARRC

DATE 12/11/19

DRAWN BY Author

CHECKED BY Checker

A800

SCALE As indicated

NOT FOR CONSTRUCTION



1 BREAKOUT ROOMS
A900



2 WORKSTATIONS
A900



3 STATIONS & BREAKOUT ROOMS
A900

DATE	
DESCRIPTION	
No.	

GRADY HOSPITAL
16TH FLOOR RESIDENT'S
RESOURCE ROOM
80 JESSE HILL JR. DR., ATLANTA, GA, 30303



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3D VIEWS -
WORK AREA

PROJECT # 18200GRARRC
DATE 12/11/19
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A900
SCALE

NOT FOR CONSTRUCTION



1 LOUNGE ROOM
A901



2 BREAK ROOM
A901



3 REC ROOM
A901

GRADY HOSPITAL
16TH FLOOR RESIDENT'S
RESOURCE ROOM
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3D VIEWS -
LOUNGE
AREAS

PROJECT # 18200GRARRC

DATE 12/11/19

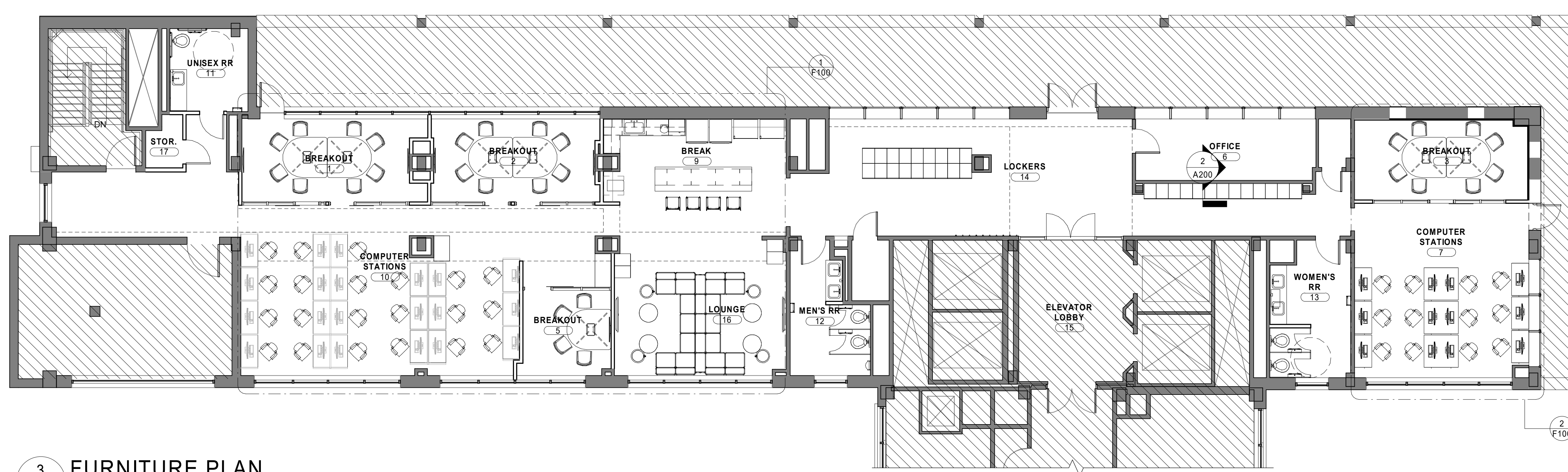
DRAWN BY Author

CHECKED BY Checker

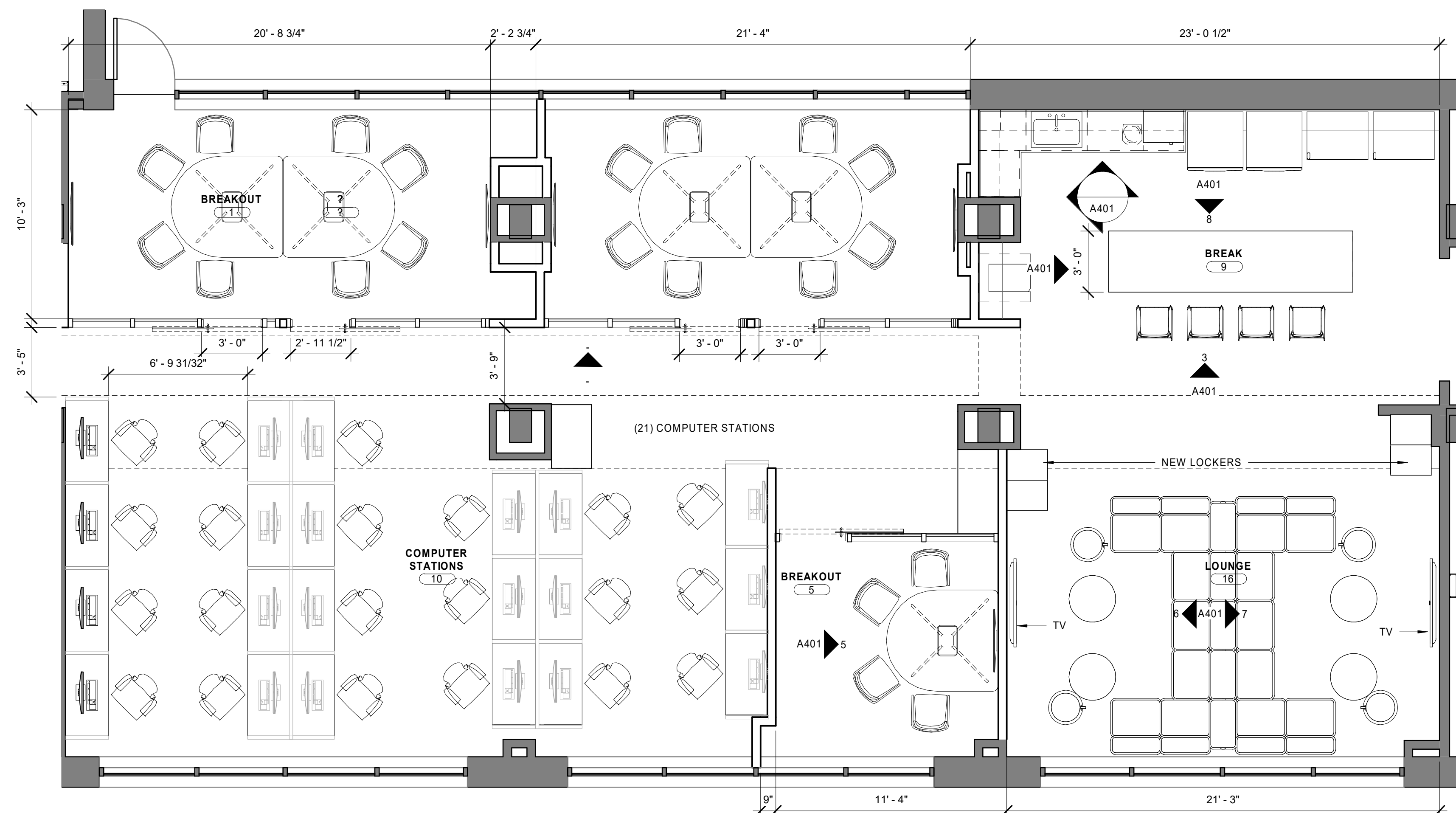
A901

SCALE

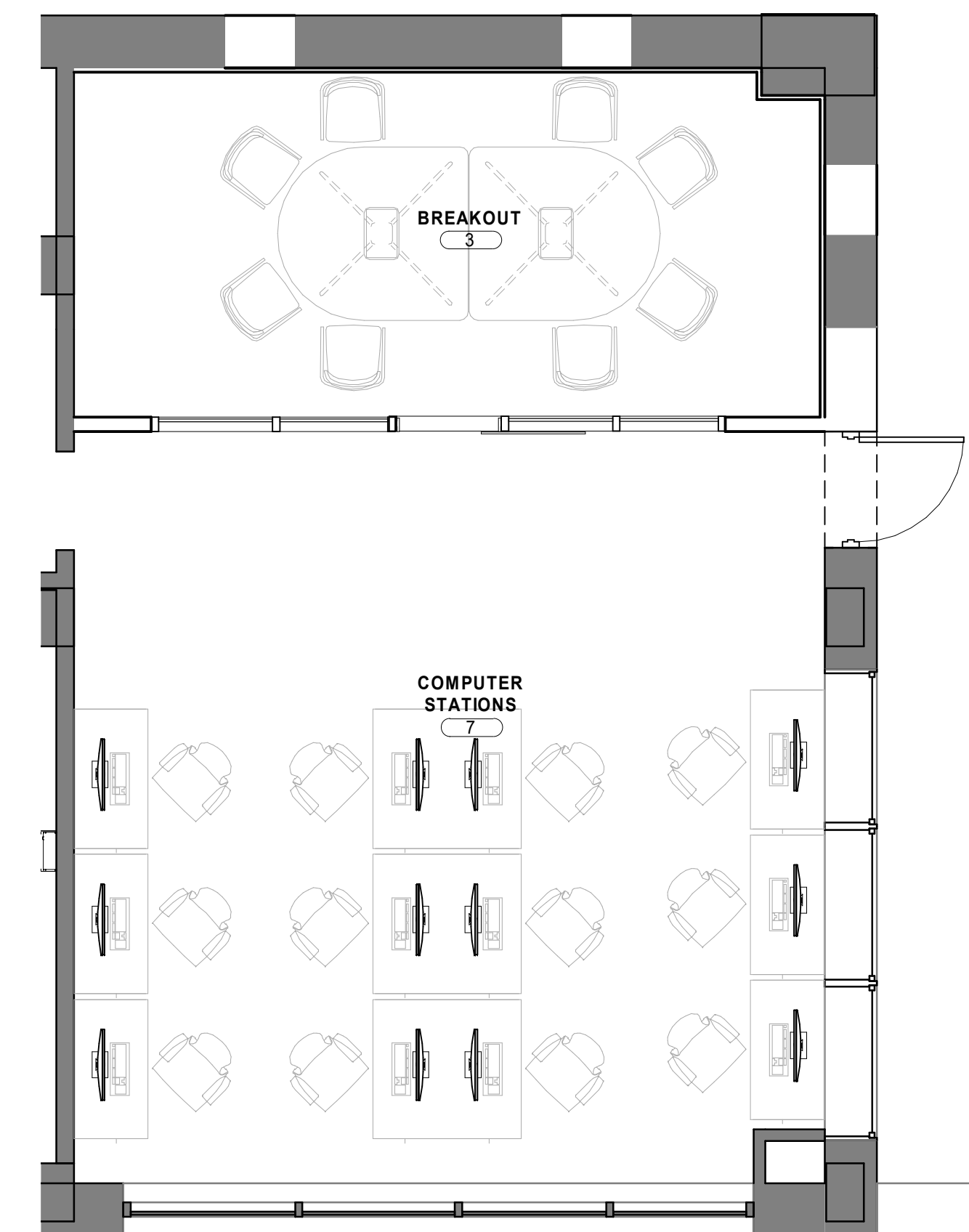
NOT FOR CONSTRUCTION



3 FURNITURE PLAN
F100 1/8" = 1'-0"



1 ENLARGED FURNITURE PLAN - WEST
F100 1/4" = 1'-0"



2 ENLARGED FURNITURE PLAN - EAST
F100 1/4" = 1'-0"

FURNITURE SHOWN FOR REFERENCE ONLY

NOT FOR CONSTRUCTION

GRADY HOSPITAL
16TH FLOOR RESIDENT'S
RESOURCE ROOM
80 JESSE HILL JR. DR., ATLANTA, GA, 30303



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FURNITURE PLAN

PROJECT # 18200GRARRC

DATE 12/11/19

DRAWN BY **Author**

F100

SCALE **As indicated**